



Inverness Terrace

London, W2

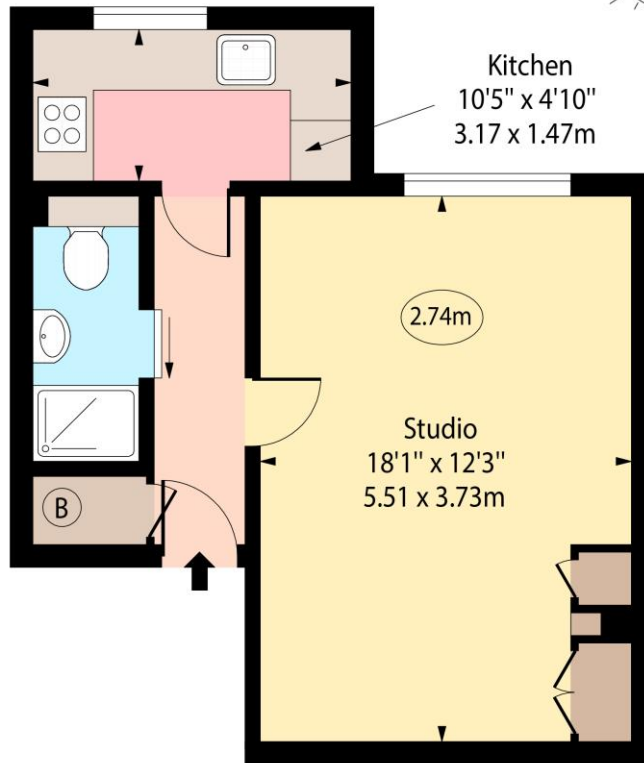
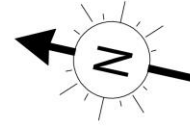
Introducing this fully renovated and fascinating studio apartment set within a characterful period conversion in a highly central location, just 100 metres from the entrance of Kensington Gardens. The property offers a bright and well-proportioned living space, enhanced by large windows that allow for an abundance of natural light throughout the day. A particular highlight is the separate, fully fitted kitchen, providing a practical layout and two generous storages, both representing a rare advantage for a studio apartment. The interiors are further elevated by bespoke fixtures and fittings of the highest quality and the comfort of underfloor heating. The main living area offers ample space for both living and sleeping arrangements, creating a versatile and refined environment. Ideally positioned in a very prestigious location, further enhanced through recent developments such as The Whiteley, and surrounded by a wide range of restaurants, cafés and sports facilities, the property is well suited to first-time buyers, investors or those seeking a convenient London base.

Asking Price £480,000

CHESTERTONS

Inverness Terrace, W2

○ - Ceiling Height



Third Floor

Approx Gross Internal Area 398 Sq Ft - 37.00 Sq M

For Illustration Purposes Only - Not To Scale

Tenure: Share of Freehold 989 years and 8 months
Service Charge: £2499 per annum including reserve fund
Ground Rent: £225 per annum
Local Authority: Westminster
Council Tax Band: F

Score	Energy rating	Current	Potential
92+	A		
81-91	B		81 B
69-80	C		
55-68	D		
39-54	E	41 E	
21-38	F		
1-20	G		

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