

# Malvern Crescent

Ashby-de-la-Zouch, LE65 2JZ

John  
German







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£270,000

**Significantly upgraded and renovated since 2019,** this property has undergone extensive improvements to provide modern comfort and peace of mind. Renovations include the installation of a **new fitted kitchen, contemporary bathroom, new windows, replumbing with a new boiler,** and a **full electrical rewire,** making this an ideal move-in-ready home with major upgrades already completed.

**NO UPWARD CHAIN**



A UPVC entrance door opens into the entrance porch before leading through to the impressive open-plan living space. The generous lounge flows seamlessly into the dining area and contemporary kitchen, creating an ideal layout for modern family living and entertaining.

The refitted kitchen is fitted with a stylish range of high-gloss white base and wall units complemented by contrasting work surfaces, incorporating an inset sink, integrated ceramic hob with extractor hood, built-in ovens and space for further appliances. Wide patio doors from the dining area open onto the rear garden, while a separate external door provides additional access outside.

An inner lobby provides access to the staircase and also connects directly into the integral garage, offering excellent storage and exciting potential for conversion into additional living accommodation, subject to the necessary consents. To the rear of the garage is a useful utility area with space for further appliances.

The first floor offers three genuine double bedrooms, a rare feature for a property of this style, making it an excellent family home. The refitted modern family bathroom is fitted with a contemporary suite comprising a P-shaped shower bath with electric shower over, pedestal wash hand basin, WC and a heated towel radiator, while a useful cupboard houses the gas combination boiler.

Outside, the property is set back behind a generous driveway providing ample off-road parking and access to the integral garage.

The rear garden has been attractively landscaped with two raised timber decked seating areas, a paved patio, shaped lawns and well-stocked planting borders, all complemented by gated side access.

Combining spacious accommodation, modern open-plan living and attractive gardens, this is a superb home perfectly suited to family life.

Some images within this brochure have been digitally enhanced or generated using AI technology to help illustrate the property with furniture. While every effort has been made to ensure accuracy, these images may not represent the exact appearance of the property and should be used for illustrative purposes only.

Agents note: It is common for property Titles to contain Covenants, a copy of the Land Registry title is available to view on request.

**Tenure:** Freehold (purchasers are advised to satisfy themselves as to the tenure via their legal representative).

**Please note:** It is quite common for some properties to have a Ring doorbell and internal recording devices.

**Property construction:** Standard **Parking:** Driveway **Electricity supply:** Mains **Water supply:** Mains

**Sewerage:** Mains **Heating:** Mains Gas

(Purchasers are advised to satisfy themselves as to their suitability).

**Broadband type:** Fibre

See Ofcom link for speed: <https://checker.ofcom.org.uk/>

**Mobile signal/coverage:** See Ofcom link <https://checker.ofcom.org.uk/>

**Local Authority/Tax Band:** North West Leicestershire District Council / Tax Band B

**Useful Websites:** [www.gov.uk/government/organisations/environment-agency](http://www.gov.uk/government/organisations/environment-agency)

**Our Ref:** JGA06072026

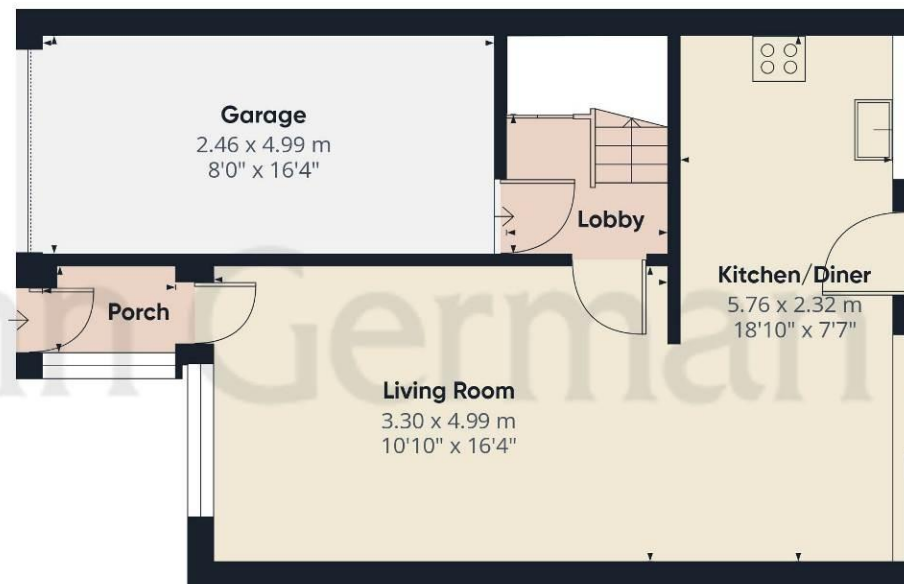
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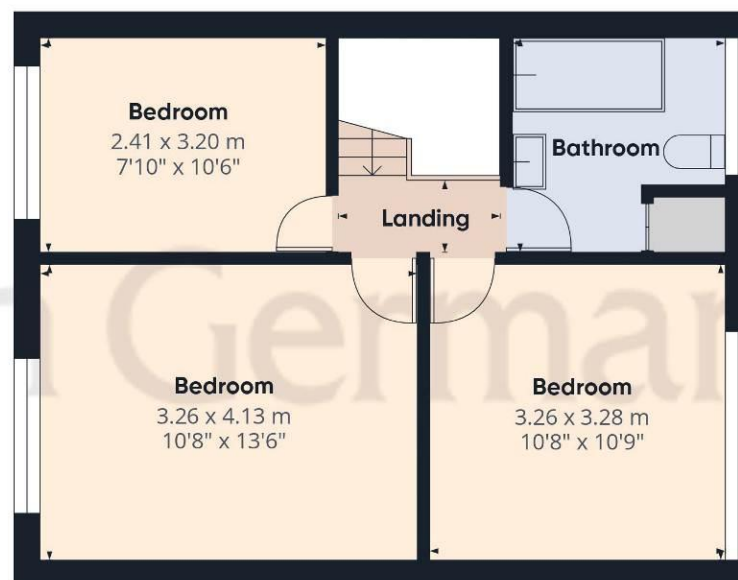


Ground Floor

Approximate total area<sup>(1)</sup>

88.1 m<sup>2</sup>

948 ft<sup>2</sup>



Floor 1



(1) Excluding balconies and terraces

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

GIRAFFE360





## Agents' Notes

These particulars do not constitute an offer or a contract neither do they form part of an offer or contract. The vendor does not make or give and Messrs. John German nor any person employed has any authority to make or give any representation or warranty, written or oral, in relation to this property. Whilst we endeavour to make our sales details accurate and reliable, if there is any point which is of particular importance to you, please contact the office and we will be pleased to check the information for you, particularly if contemplating travelling some distance to view the property. None of the services or appliances to the property have been tested and any prospective purchasers should satisfy themselves as to their adequacy prior to committing themselves to purchase.

## Referral Fees

**Mortgage Services** - We routinely refer all clients to APR Money Limited. It is your decision whether you choose to deal with APR Money Limited. In making that decision, you should know that we receive on average £60 per referral from APR Money Limited.

**Conveyancing Services** - If we refer clients to recommended conveyancers, it is your decision whether you choose to deal with this conveyancer. In making that decision, you should know that we receive on average £150 per referral.

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| Score | Energy rating | Current | Potential |
|-------|---------------|---------|-----------|
| 92+   | A             |         |           |
| 81-91 | B             |         | 86 B      |
| 69-80 | C             | 73 C    |           |
| 55-68 | D             |         |           |
| 39-54 | E             |         |           |
| 21-38 | F             |         |           |
| 1-20  | G             |         |           |



## John German

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