

81 Beech Crescent, Castleford, WF10 3RN



Asking Price Of £142,950

DESCRIPTION

This modern three bedroom semi-detached property is located in a popular residential area popular with families and commuters with easy access to the A1 and M62 motorway networks.

The property offers a generous driveway, substantial detached garage and a large, private garden at the rear. The accommodation comprises of a hallway, lounge, open plan kitchen/ diner, landing, three bedrooms and bathroom. UPVC double glazing throughout and gas central heating from a modern condensing combination boiler.

HALLWAY

UPVC door to the front. Stairs to the first floor. Radiator.

LOUNGE

15' 5" x 12' 3" (4.70m x 3.74m) A pleasant lounge with a large double glazed window to the front. Living flame effect gas fire housed within an Adams style surround with a tile hearth and interior. Coving to the ceiling with dado rail below. Radiator.



KITCHEN/ DINER

15' 5" x 8' 11" (4.72m x 2.74m) Two UPVC double glazed windows and a double glazed door overlook the rear garden. Fitted with a range of modern base and wall height units with complementary work surfaces. Inset sink and drainer unit with plumbing for automatic washing machine. Gas cooker point with cooker hood above. Tiled splash backs. Understairs storage cupboard. Radiator.



LANDING

Double glazed door to the side. Spindle balustrade. Built in storage cupboard. Radiator.



BEDROOM 1

12' 11" x 8' 11" (3.96m x 2.74m) Double glazed window. Coving. Radiator.



BEDROOM 2

11' 9" x 9' 0" (3.60m x 2.75m) Double glazed window. Coving. Radiator.



BEDROOM 3

7' 6" x 6' 3" (2.29m x 1.93m) Double glazed window. Radiator.

BATHROOM

Double glazed window. Fitted with a white three piece suite comprising of a panelled bath, pedestal wash basin and a low flush wc. Tiled walls. Extractor fan. Radiator.



OUTSIDE

The property boasts a large, private rear garden with a lawn, patio and a large vegetable garden with greenhouse. The long gated driveway leads to a substantial detached garage with power and lighting. To the front of the property there is an open plan front garden.



TENURE

Freehold.

COUNCIL TAX

WMDC property band B.

AGENTS NOTES

As the sellers agent we are not surveyors or conveyancing experts and as such we cannot and do not comment on the condition of the property, or issues relating to title or other legal issues that may affect this property, unless we have been made aware of such matters. Interested parties should employ their own professionals to make such enquiries before making any transactional decisions.

BOUNDARY DISCLAIMER

The boundaries and ownerships have not been checked on the Title Deeds for any discrepancies or rights of way. All prospective purchasers should make their own enquiries before proceeding to exchange of contracts.

FIXTURES & FITTINGS

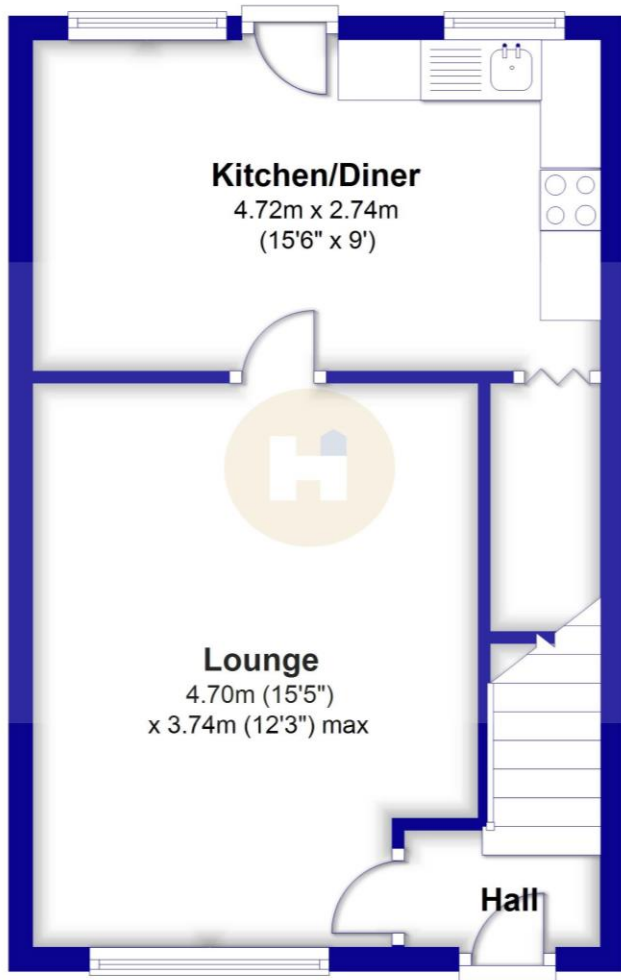
None of the services or fittings have been tested and no warranties of any kind can be given; accordingly, prospective purchasers should bear this in mind when formulating their offers. The seller does not automatically include in the sale any carpets, light fittings, floor coverings, curtains, blinds, furnishings, electrical/gas appliances (whether connected or not) or any other fixtures and fittings unless expressly mentioned in these particulars.

MEASUREMENTS

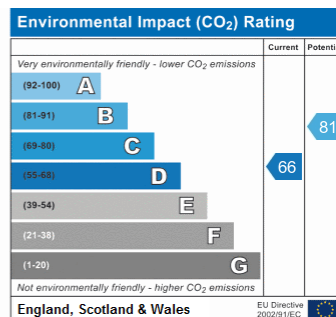
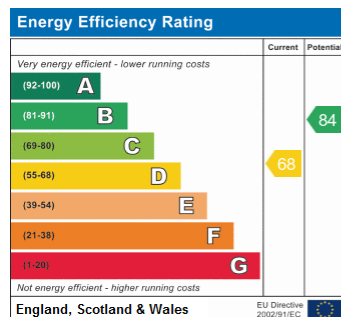
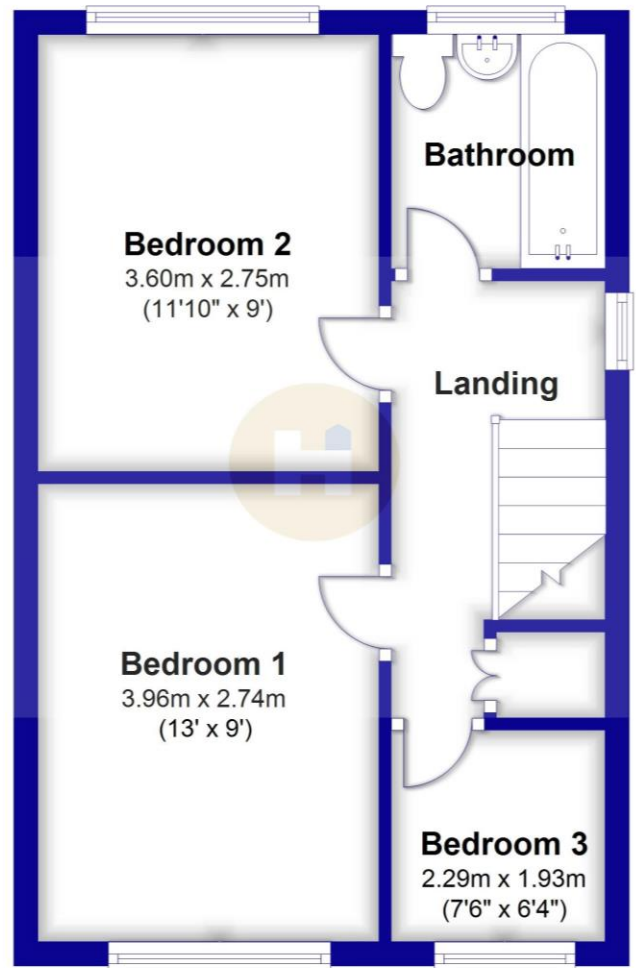
All measurements are for general guidance purposes only and are approximate. Due to variations and tolerances in metric and imperial measurements, measurements contained in the particulars must not be relied upon for ordering carpets, furniture etc.



Ground Floor



First Floor



Agents Note: Whilst every care has been taken to prepare these sales particulars, they are for guidance purposes only. All measurements are approximate and for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers are advised to recheck the measurements.

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