



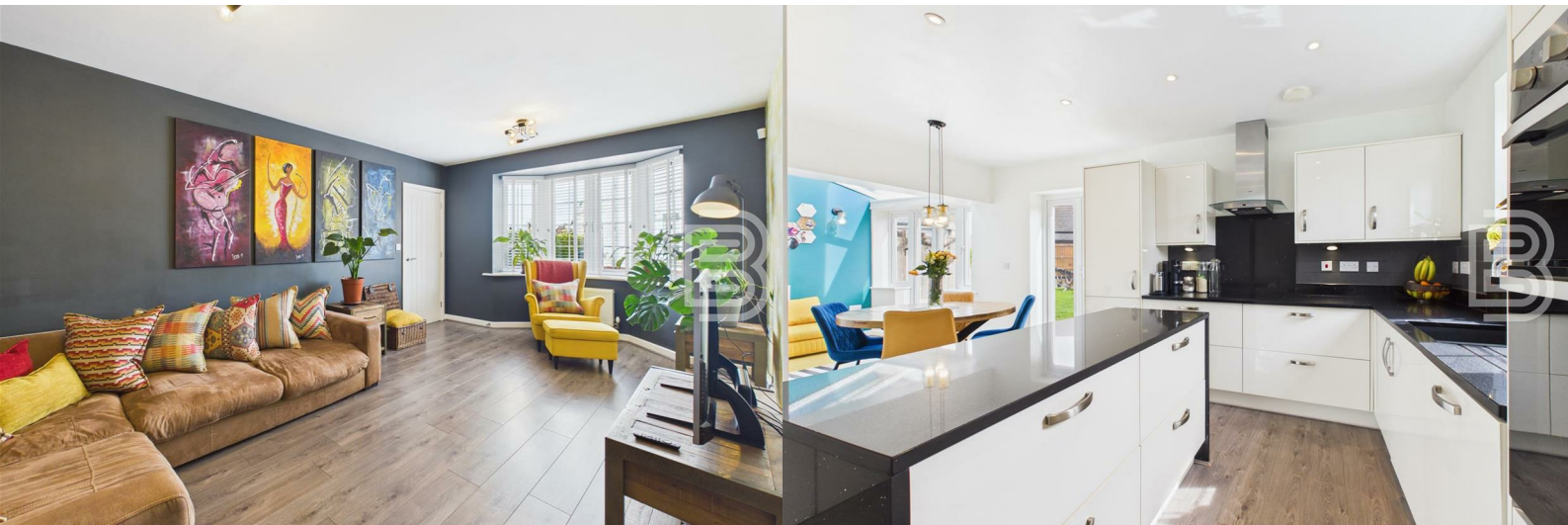
Ellis Brooke



3 Bailey Close

Wolston, CV8 3LS

Offers in excess of £450,000



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Hallway

Composite front door with double glazed panel. Double glazed window to the front aspect. Wood effect flooring. Stairs to first floor. Doors off to : Guest WC, Lounge, Office and Kitchen/Diner. Stylish sectional under-stair storage compartments. Radiator.

Lounge

Double glazed bay window to the front aspect. Wood effect flooring. Two radiators.

Office

Dual aspect with double glazed windows to two sides. Radiator. Wood effect flooring.

Kitchen/Diner

Double glazed window to the side aspect plus and two sets of French Doors out to the garden. Three radiators. Wood effect flooring. Double doors to Utility Cupboard. A range of base and eye level units with Quartz worktops and tiling to splashbacks. Integrated double oven plus induction hob and extractor. Integrated dishwasher. Integrated fridge and freezer. Composite sink/drainage with mixer tap. One section of the dining/family area has a double glazed glass roof. Inset spotlights to the kitchen area.

Utility Cupboard

Double doors. Several kitchen units with quartz worktop. Space and plumbing for washing machine plus dryer. Inset spotlights. Extractor.

Guest WC

Double glazed window to the side. Wood effect flooring. Airing cupboard. Low flush WC. Extractor. Wall mounted wash hand basin. Heated towel rail. Half height tiling.

Landing

Doors off to all 4 bedrooms and family bathroom. Loft access hatch. Radiator. Cupboard.

Bedroom One

Double glazed window to the front aspect. Radiator. Door to En-Suite. Fitted wardrobes with sliding mirrored doors.

En-Suite

Double glazed window to the side aspect. Double fully tiled shower cubicle. Heated towel rail. Extractor. Low flush WC. Pedestal wash hand basin. Ceramic tiled floor.

Bedroom Two

Double glazed window to the front aspect. Radiator. Fitted wardrobes with sliding mirrored doors.

Bedroom Three

Double glazed window to the side aspect. Radiator.

Bedroom Four

Double glazed window to the rear aspect. Radiator. Currently used as an office/dressing room.

Family Bathroom

Double glazed window to the side aspect. Heated towel rail. Pedestal wash hand basin. Extractor. Low flush WC. Panelled bath with mixer tap. Enclosed shower cubicle. Ceramic tiled floor. Inset spotlights.

Frontage

White stone borders with wired feature up lighting for the façade. Pathway leading to front door and canopy porch. Side paved hardstanding for bins with timber access gate into rear garden. Block paved off road parking leading to garage.

Garage

Metal up and over door. Power and light connected. Storage space in the roof area.

Rear Garden

Fully enclosed by timber fencing to all sides. Access gate leading to the driveway/frontage. Full width patio with small step up to additional patio/hardstanding with pergola feature.

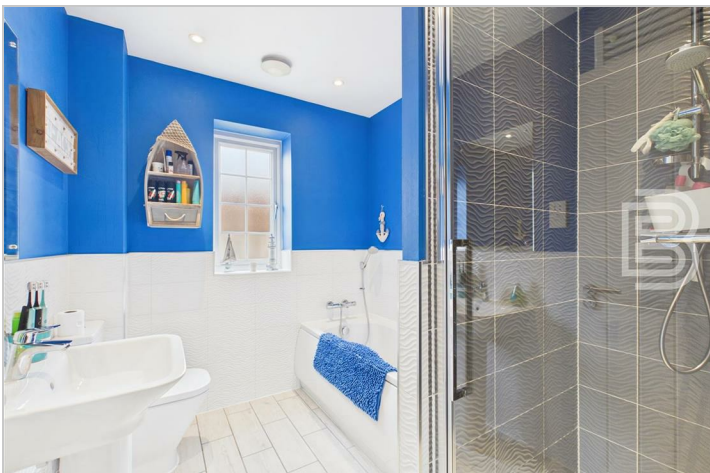
Additional seating areas around the perimeter of the garden. Plant and shrub borders. Outside tap plus outside power sockets.

Area Notes

This estate (built by Bloor Homes) has an applicable monthly estate management charge of around £17

Money Laundering Regulations

Should a purchaser(s) have an offer accepted on a property marketed by Ellis Brooke Estate Agents, they will need to undertake an identification check and be asked to provide information on the source and proof of funds. This is done to meet our obligations under Anti Money Laundering Regulations (AML) and is a legal requirement. We use a specialist third party service to verify your information. The cost of these checks is £25 (inc VAT) which is paid in advance, when an offer is agreed and prior to a sales memorandum being issued. This charge is non-refundable under any circumstances.



Road Map



Hybrid Map



Terrain Map



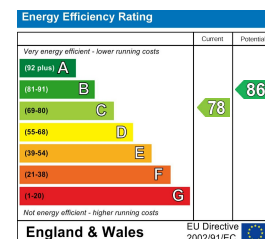
Floor Plan



Viewing

Please contact our Rugby Office on 01788 221242 if you wish to arrange a viewing appointment for this property or require further information.

Energy Efficiency Graph



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