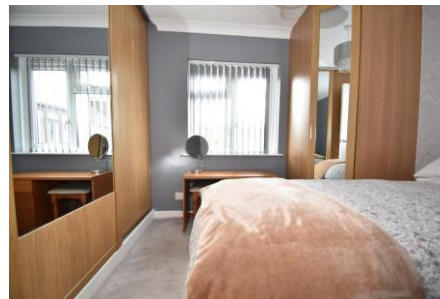


Alverstoke Court, 21 Church Road,
Alverstoke, Gosport, Hampshire, PO12 2LX

£75,000



One Bedroom First Floor Retirement
Apartment

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Modern Shower Room

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Modern Kitchen

PVCu Double Glazing

Alverstoke Conservation Area

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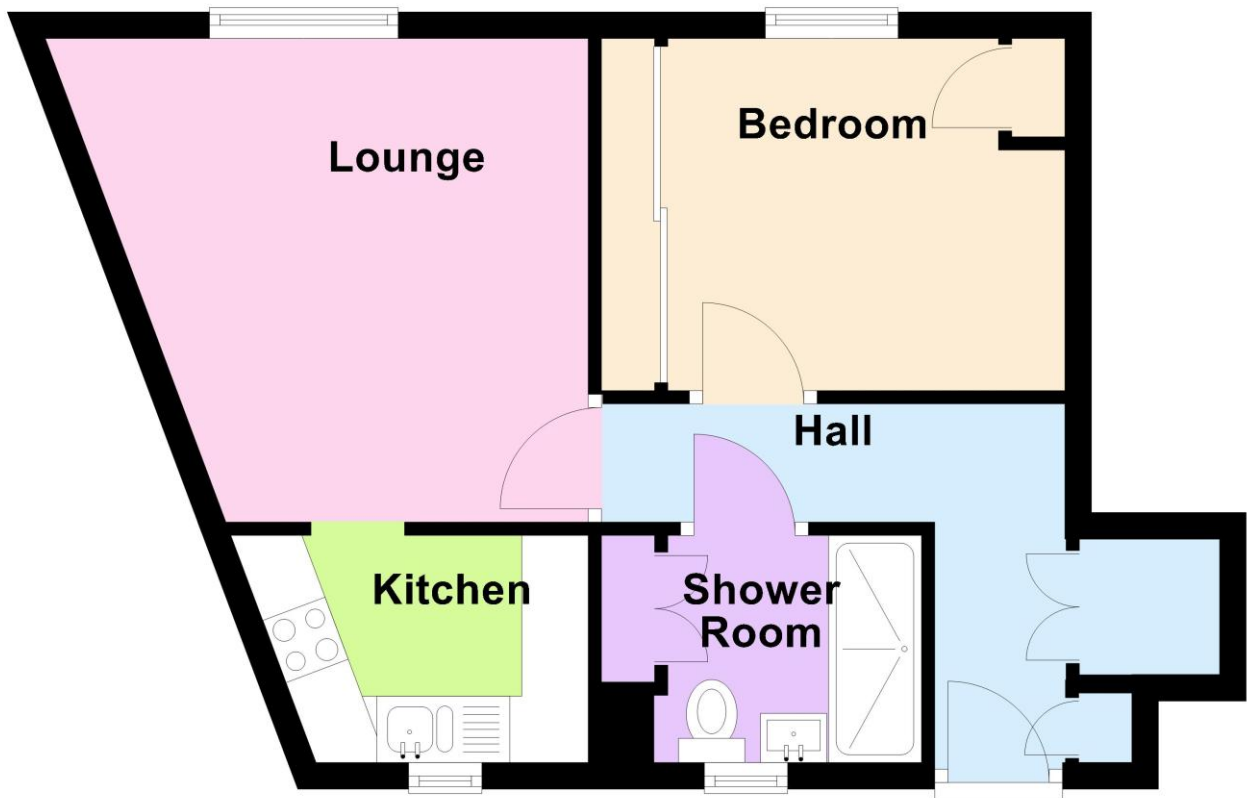
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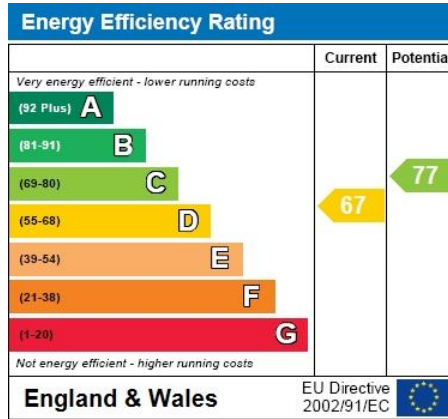
First Floor



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AND WOULD WELCOME THE OPPORTUNITY TO BE CHOSEN AS YOUR ESTATE AGENT

Communal Entrance	With lift or stairs to each floor, the flat is located on the 1st floor.
Entrance Hall	Door entry panel incorporating emergency assistance call facility, meter cupboard, large storage cupboard with space for freezer, electric panel heater, coved ceiling.
Lounge	12'0" (3.66m) x 11'2" (3.4m) Average, PVCu double glazed window, electric panel heater, coved ceiling, archway to:
Kitchen	5'7" (1.7m) x 7'4" (2.24m) Average, 1½ bowl stainless steel sink unit, cream fronted wall and base units with worksurface over, built in oven and 2 ring induction hob, space for fridge, PVCu double glazed window, coved ceiling, composite panel splashbacks.
Bedroom	8'5" (2.57m) To Wardrobe x 8'9" (2.67m) PVCu double glazed window, fitted triple wardrobe with sliding doors, further corner wardrobe with rail and shelf, coved ceiling.
Shower Room	Double size shower cubicle with glass screen, rail, rainfall and hand shower, vanity hand basin, W.C with concealed cistern, PVCu double glazed window, aqua panel splashbacks, Dimplex fan heater, cupboard with shelves and Storm electrical water heater.
Outside	Residents casual parking, communal sitting area.
Services	We understand that this property is connected to mains electric, water and sewage. There is no gas to this property.
Tenure	Leasehold. Balance of a 99 year lease from 1st November 1983. Current ground rent £414.92 per annum and maintenance charge £3390.62 per annum. We understand there is a 1% exit fee paid when you sell the property. These details are provided to the best of our ability from the information provided to us by the owner, but a buyer should check the figures once the official leasehold enquiries from the management company/freeholder are received by their legal advisor as they can be subject to change. This should be done before exchanging contracts to purchase the property.
Council Tax	Band A.
Property Information	For information on broadband speed and mobile phone coverage for this property visit: https://checker.ofcom.org.uk For flood risk information visit: https://www.gov.uk/check-long-term-flood-risk



Full Energy Performance Certificate
available upon request

Appointment		
Date:	Time:	Person Meeting:
Viewing Notes		

These particulars, whilst believed to be accurate, are set out as a general outline for guidance and do not constitute any part of an offer or contract. Please note we have not tested any apparatus, fixtures, fittings, or services. Interested parties must undertake their own investigation into the working order of these items. All measurements are approximate. Floor Plans are obtained from a third party and may contain inaccuracies. Photographs are for guidance only and may change over the course of marketing. Information provided on lease terms, maintenance and ground rent have been provided by the vendor and you should ask your legal representative to confirm this information before exchanging contracts.