



MOUNT ROYAL, WHITEHALL ROAD, RHOS ON SEA

ASKING PRICE £157,000



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Blue Turtle Property are delighted to bring to the market this spacious two-bedroom top floor apartment, ideally situated in one of the most sought-after residential areas of Rhos-on-Sea, just a short stroll from the beautiful promenade, local cafés, shops and everyday amenities. This well-presented apartment offers bright, generously proportioned accommodation throughout and is decorated in neutral tones, creating a light and welcoming home that is ready to move into. The accommodation briefly comprises a spacious entrance hallway, a generous lounge, a large kitchen/dining room, two well-proportioned double bedrooms and a modern family bathroom. The property further benefits from gas central heating, double glazing and a convenient coastal location within easy reach of transport links and local attractions.

Investment Opportunity: The property is currently occupied by reliable tenants who have maintained the apartment to a high standard and would be happy to remain, subject to the purchaser's requirements. This presents an excellent opportunity for landlords seeking an investment with immediate rental income from day one.

Whether you're looking to expand your property portfolio or purchase a home by the coast, this apartment offers an excellent combination of space, location and investment potential. Early viewing is essential to appreciate the accommodation on offer.

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Location-The property is situated in a most convenient location close to a variety of local schools, restaurants and is near a bus route and main railway line. Just a stones throw away from Rhos On Sea Promenade, and the many cafes, shops and leisure facilities that Rhos On Sea has to offer. Located near Llandudno and Colwyn Bay, and is within easy access of the A55 dual carriageway, offering a range of fantastic transport links with something for everyone. The neighbourhood in Rhos On Sea holds a real sense of community, with several regular events held nearby, and fantastic walks right from its doorstep.

Tenure- Leasehold

Council Tax Band- C as on voa.gov.uk

Accommodation

Entrance Hallway

6'2" x 18'3" (1.88m x 5.56m)

A spacious entrance hallway providing access to all principal rooms, with ample space for coats, shoes and additional storage, loft access, radiator.

Lounge

15'2" x 11'10" (4.62m x 3.61m)

A bright and comfortable reception room offering plenty of space for both seating and entertainment furniture, creating an ideal place to relax, window to front aspect, radiator, television point.



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Kitchen/Dining Room

15'2" x 18'3" (4.62m x 5.56m)

A generously sized kitchen and dining space fitted with a range of units and work surfaces. Offering ample room for a family dining table, making it perfect for everyday living and entertaining. Kitchen area fitted with a range of wall and base units with complimentary work surfaces over, single drainer sink with mixer tap, integral oven with four ring hob, space for fridge/ freezer, central island, two windows to side aspects, radiator.

Bedroom One

14'7" x 11'10" (4.45m x 3.61m)

A spacious double bedroom with plenty of room for wardrobes and additional bedroom furniture, window to front aspect with distant sea views, radiator.

Bedroom Two

11'4" x 9'3" (3.45m x 2.82m)

A well-proportioned second bedroom, ideal as a guest room, children's bedroom or home office, window to side aspect, radiator.



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Bathroom

8'5" x 9'0" (2.57m x 2.74m)

A generously sized bathroom comprising a bath, pedestal wash hand basin and low level flush w.c, part tiled walls, built-in storage cupboard, radiator, obscure glass window to side aspect.

Lease Information

999 years Lease from 1st September 1993 with a peppercorn ground rent.

Services/ Disclaimer-

Mains water, gas, electric and drainage are believed to be available or connected at the property. Blue Turtle Property Limited have not tested any apparatus, equipment, fixtures and fittings or services and so cannot verify that they are in working order or fit for the purpose.

References to the Tenure of a Property are based on information supplied by the Seller. The details provided are prepared as a general guide only and should not be relied upon as a basis to enter into a legal contract. Any interested party should consult their own surveyor, solicitor or other professionals before committing themselves to any expenditure or other legal commitments. Items shown in photographs are NOT included unless specifically mentioned within the sales particulars. They may however be available by separate negotiation. Contact our friendly team if you have any questions about this listing, or to book a viewing.



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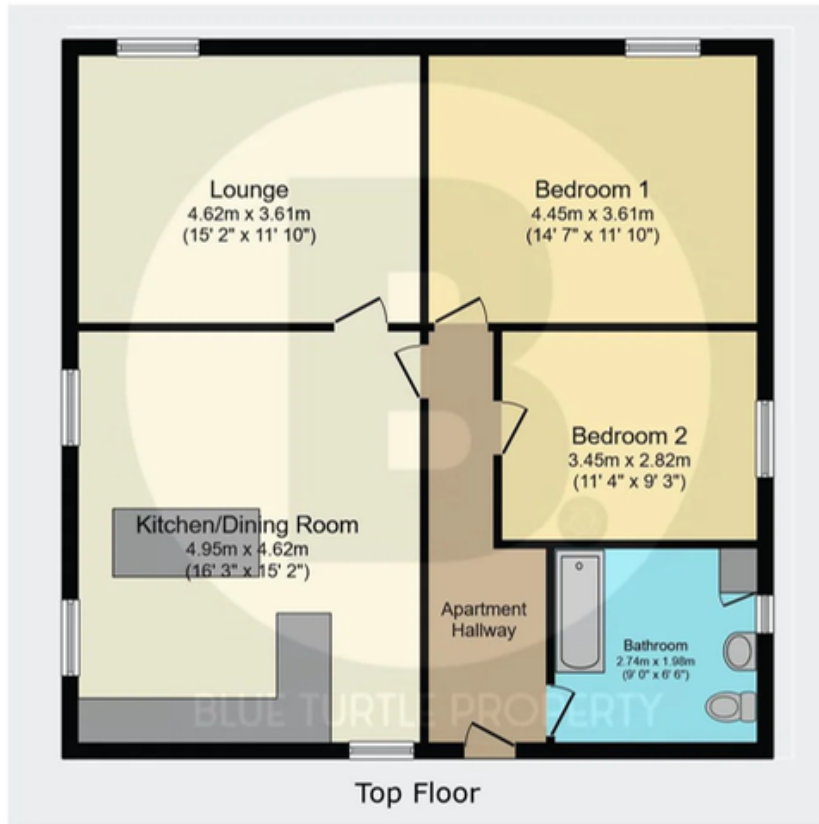


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Total floor area: 84.8 sq.m. (913 sq.ft.)

This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientations are approximate. No details are guaranteed, they cannot be relied upon for any purpose and do not form any part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by www.Propertybox.io

