



£115,000 Leasehold



JUSTFLATS

52 Homeros House
Cottage Grove
Southsea
PO5 1DU

Email - southsea@jeffries.co.uk Tel - 023 9236 1111

"TWO BEDROOM RETIREMENT FLAT WITH NO FORWARD CHAIN! A rare opportunity to purchase a two bedroom retirement flat in Homeroose House, Cottage Grove. Located on the first floor, this former warden's flat has been recently redecorated throughout with new carpets and flooring (where stated) and you can move in straight away as the home is offered with no forward chain. The accommodation comprises entrance hall with two large cupboards, two good sized bedrooms, fitted shower room, fitted kitchen and a 20ft living room with bay window. The residence offers a host of communal facilities on site including, laundry room, guest suite, residents' lounge and secure off road parking (to be arranged with the site manager). The age restriction for this complex is a minimum of 60 years. Please call Jeffries & Dibbens for further details or to arrange your viewing."

Eddie Lewis, Sales Manager, Southsea Office

COMMUNAL ENTRANCE

Security intercom system, door to:-

COMMUNAL HALL

Access to laundry room, lift and stairs to the first floor and door to number 52.

HALLWAY

Newly fitted laminate flooring throughout, walk-in storage cupboard and airing cupboards, emergency pull cord, doors to all rooms.

LIVING ROOM

20' 4" x 10' 3" (6.20m x 3.13m) Double glazed bay window to front elevation, freshly laid carpet throughout, freshly decorated, storage heater, emergency pull cord, opening to:-

KITCHEN

10' 2" x 5' 4" (3.12m x 1.65m) Fitted kitchen comprising a range of wall and base level units incorporating roll top work surfaces, electric oven, electric hob, stainless steel sink and drainer unit with mixer tap, tiled to principal areas, space for fridge/freezer, freshly laid laminate flooring throughout.

SHOWER ROOM

8' 7" x 7' 2" (2.62m x 2.20m) Fitted shower room comprising walk in glass shower cubicle with electric shower, low level WC, wall mounted hand basin, freshly laid vinyl flooring, tiled to principal areas.

BEDROOM TWO

13' 6" x 8' 7" (4.12m x 2.62m) Double glazed window to front elevation, carpet throughout, storage heater, built-in wardrobe, emergency push button.

BEDROOM ONE

16' 2" x 10' 7" (4.93m x 3.24m) Double glazed bay window to front elevation, carpet throughout, storage heater, built-in wardrobe, emergency push cord.

COMMUNAL AREAS

Laundry room, residents' lounge and guest suite.

PARKING

Communal residents' parking, which we have been advised needs to be arranged by the House Manager.

OUTSIDE

To the rear of the property is a southerly facing communal garden with paved patio area and lawn with mature trees and shrub borders.

Free solicitor quotes available on request



AGENTS' NOTE: All measurements shown are approximate and may have been taken with a sonic measure and therefore should be verified. No electrical, mechanical or gas appliances have been tested by a representative of this company. These particulars do not constitute any part of an offer or contract. None of the statements contained in these particulars are to be relied on as statements or representations of fact and any intending purchaser must satisfy himself by inspection or otherwise to the correctness of each of the statements contained in these particulars. The Vendor does not make or give, and neither Jeffries & Dibbens nor any person in their employment has any authority to make or give, any representation or warranty whatever in relation to this property. Jeffries & Dibbens Ltd. Registered in England No. 3185348 registered office: 196 Havant Road, Drayton, Portsmouth, PO6 2EH

Visit our 'Graham Jeffries Mortgage Desk'

LEASE INFORMATION:

Tenure:- Leasehold

Landlord/Managing Agent:- First Port Management

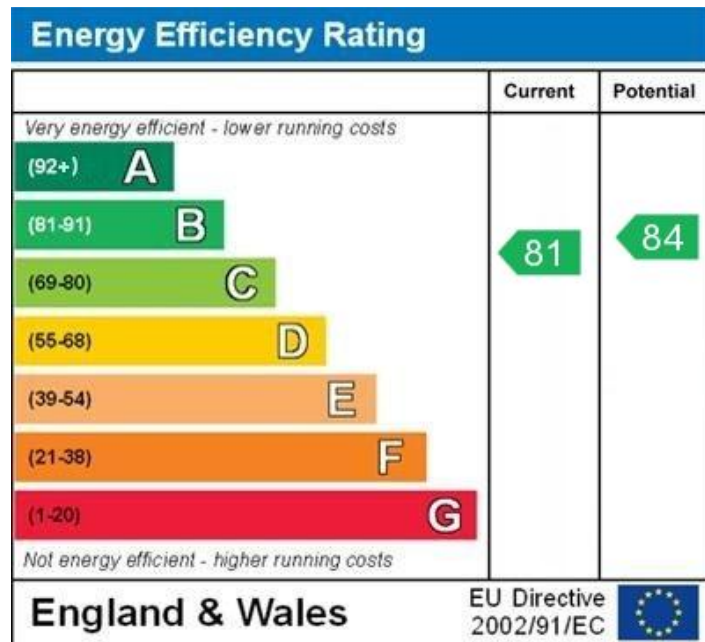
Balance of Lease:- 85 Years Remaining

Ground Rent:- £250 yearly.

Maintenance/Service Charges:- £2,100 paid twice yearly.

Building Insurance:- Included in total above.

The above information has been supplied to us by the current owner(s). Confirmation of all charges relating to this property should be confirmed by your solicitor prior to any exchanging of contracts.



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