

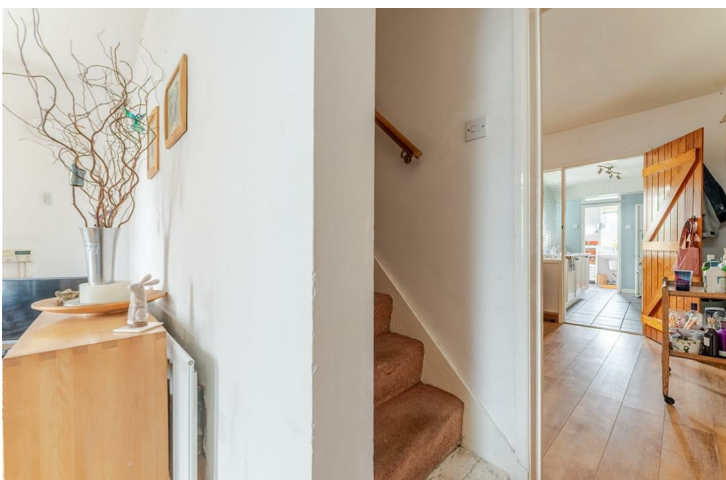
4 Elborough Avenue Yatton BS49 4DT













£259,950

marktempler

RESIDENTIAL SALES





 Property Type House - Terraced	 How Big 895.90 sq ft
 Bedrooms 2	 Reception Rooms 2
 Bathrooms 1	 Warmth Gas central heating
 Parking On street	 Outside Front & rear
 EPC Rating D	 Council Tax Band C
 Construction Traditional	 Tenure Freehold

Occupying a convenient position in the heart of the village, within easy reach of a range of everyday amenities, 4 Elborough Close is an attractive mid terrace period property offering deceptively spacious accommodation arranged over two floors. Combining character features with excellent potential for further enhancement, the property is ideally suited to first time purchasers, downsizers, or those seeking a well positioned village home. The property is approached via an enclosed front garden with wrought iron gate, providing practical bin storage alongside space for seasonal planting and colourful pots. Internally, the accommodation is well proportioned throughout. An entrance porch opens into a bright front sitting room featuring a bay window which provides excellent natural light. A second reception room, currently utilised as a dining room, enjoys a feature stone chimney breast together with useful understairs storage and provides a flexible additional living space. To the rear elevation, the kitchen is fitted with a range of shaker style wall and base units and benefits from access to a useful rear porch/storage area. The ground floor accommodation is completed by a well appointed bathroom. To the first floor are two generous double bedrooms, with the second bedroom leading through to an additional versatile room offering scope for a study, dressing room, nursery or potential en-suite, subject to any necessary consents. Externally, the rear garden is fully enclosed and designed with ease of maintenance in mind, predominantly laid to lawn with patio seating area and gravelled borders, creating an ideal space for outdoor entertaining and alfresco dining. A useful garden shed and gated rear access further enhance the practicality of the property. Elborough Avenue is only a short walk to all the amenities Yatton has to offer, where there is a supermarket, post office, pharmacy, library, the highly popular village school, hairdressers and bakers as well as being on a level walk to the main line railway station offering direct links to Bristol, Bath, London and the West Country.

This charming period home offers excellent potential and plenty of character. With scope to update and personalise, it presents a great opportunity for buyers looking to make a home their own. Early viewing is recommended.



Terraced two bedroom period property in central Yatton location



HOW TO BUY THIS PROPERTY

If you would like to purchase this property, we will need the following information before we are able to agree a sale to you.

proof of identification – we need to run an electronic check for all purchasers of the property. In order to do this we need your full names including titles, dates of birth and residential address(s) for the last three years. The ID check is at no cost. Proof of funding – If a mortgage is required we need to see an up to date agreement in principle from the lender involved for the amount of borrowings required together with evidence by way of an official savings statement for the balance of funds. If the purchase is being made up of cash we will need to see an official statement of the funds required.

Proof of chain – If you are selling your home with another agent we will need full details of the agent involved and any linked transactions.

The majority of the above is now a legal requirement. We will need to share some of this information with the vendor of the property as well as other professional parties who will be involved or connected with the sale of the property. Having this information will also enable us to present your offer to purchase positively and is likely to enable us to deliver a response speedily. As a part of our comprehensive property services we will introduce other knowledgeable professionals to assist buyers, sellers and other interested parties to enhance their experience of the moving process. We have carefully selected a panel of local professionals who in turn have agreed preferential terms for our clients.

Please note we may give a quotation for sellers and buyers for the companies listed below and should you decide to use one of these companies as a result of our introduction we will receive a referral fee. Any quotation is offered without obligation and it is your decision whether you choose to deal with any of these companies. Star Legal - Conveyancing Referral Fee £270, Foxfield - Conveyancing Referral Fee £270, Head Projects - Surveyors Referral Fee 10% of the net commission received by Head Projects, The Mortgage Heroes South West – Mortgage Advisors Referral Fee 25% of the net commission received. All referral fees are paid to us by the named companies and are included within any quotes provided. The referral fees are not an additional charge.



About this property

TENURE
Freehold

UTILITIES
Mains electric
Mains gas
Mains water
Mains drainage

HEATING
Gas fired central heating

BROADBAND
Ultrafast broadband is available with the highest available download speed 2000 Mbps and the highest available upload speed 2000 Mbps.

This information is sourced via checker.ofcom.org.uk, we advise you make your own enquiries.

If an information source is not named, then it has been provided by the sellers of the property and is accurate to the best of their knowledge.



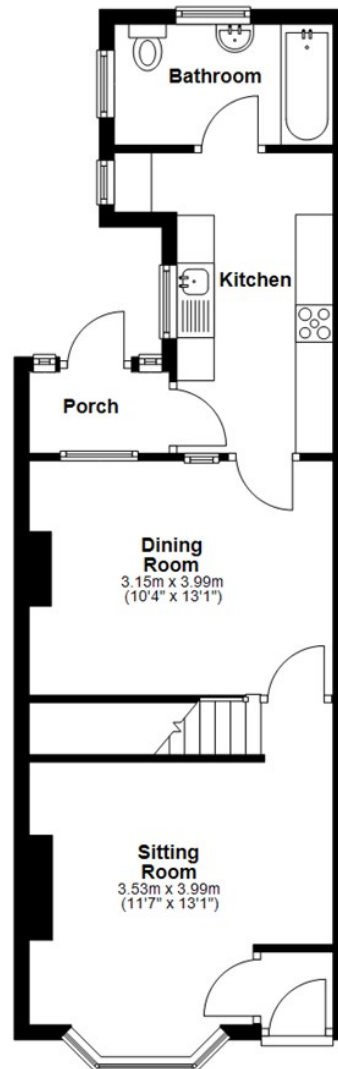
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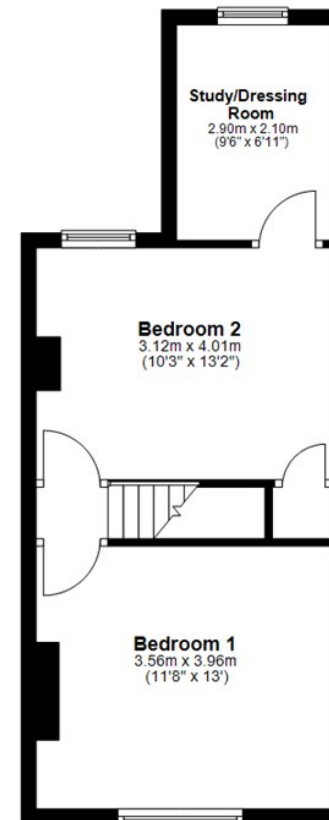
Ground Floor

Approx. 46.8 sq. metres (503.8 sq. feet)



First Floor

Approx. 36.4 sq. metres (392.1 sq. feet)



Total area: approx. 83.2 sq. metres (895.9 sq. feet)

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

Plan produced using PlanUp.