



hrt
herbert r thomas

Approximately 7.67
acres

Spring Farm
Forest Coal Pit
Abergavenny
NP7 7LL
hrt.uk.com

Approximately 7.67 acres
of Agricultural Land

By Informal Tender

Guide Price:
£75,000

*Note: Agricultural Land only, no
residential dwelling



Approximately 7.67 acres
of Land

Rural Location

Unique opportunity

For Sale by Informal
Tender

Tender Deadline
Wednesday 12th August
2026 at 12 noon

Situation

The land is situated in the hamlet of Forest Coal Pit, a highly regarded rural locality lying approximately 4 miles north-west of the market town of Abergavenny, within the heart of the Bannau Brycheiniog National Park (Brecon Beacons National Park).

The area is renowned for its outstanding natural beauty, unspoilt countryside and extensive network of walking, cycling and outdoor recreation opportunities. Despite its tranquil and secluded setting, the property benefits from convenient access to Abergavenny and road networks. A small stream runs along the eastern boundary of the property and provides a natural drinking water source for livestock.

Forest Coal Pit a particularly desirable location for amenity, environmental and conservation interests. Please see the attached location plan.

Description

An attractive parcel of pastureland and woodland extending to approximately 7.67 acres (3.10 hectares) in total. The land has previously been utilised for grazing livestock and mowing purposes and offers potential for a variety of agricultural, equestrian, conservation and amenity uses.

Benefitting from direct roadside frontage, the property comprises a useful mix of productive pasture and established woodland, creating an appealing and versatile landholding in a pleasant rural setting. Subject to the necessary planning consents, the land may also offer potential for alternative uses, including small-scale rural diversification, tourism, leisure, woodland enterprises, biodiversity enhancement projects, or other development opportunities.

Plan

The plans attached to these particulars are shown for identification purposes only and, whilst every care has been taken, its contents cannot be guaranteed.

Services

The land presently benefits from mains water supplies from the adjoining property in third party ownership. This supply will be disconnected 3 months post completion. The buyer will be required to obtain their own mains supplies of water.

For further information, prospective purchasers are able to make their own enquiries with Dwr Cymru Welsh Water and Western Power Distribution.

Wayleave/Easements/Rights of Way

The property is being sold subject to and with the benefit of all rights including; rights of way, whether public or private, light, support, drainage, water and electricity supplies and other rights and obligations, easements and quasi-easements and restrictive covenants and all existing and proposed wayleaves for masts, pylons, stays, cables, drains, water and gas and other pipes whether referred to in these particulars or not. There are no footpaths crossing the land.

Boundaries

The purchaser(s) shall be deemed to have full knowledge of all boundaries and neither the vendor nor the vendors agents will be responsible for defining the boundaries of the ownership thereof.

Basic Payment Scheme

The land is being sold without the benefit of Basic Payment Scheme Entitlements.

Tenure and Possession

Freehold with Vacant Possession upon completion.

Guide Price

Guide Price – £75,000

Health and Safety

Given the potential hazards of agricultural land, we ask you to be as vigilant as possible when making your inspection for your own personal safety. Nb: There are currently mares with foals at foot on the land.

Method of Sale

The property is offered for sale by Informal Tender unless sold prior by Private Treaty.

Tenders are to close Wednesday 12th August 2026 at 12 noon.

Please note the Vendor is not obliged to accept the highest or any offer. All offers must be supported with proof of funding.

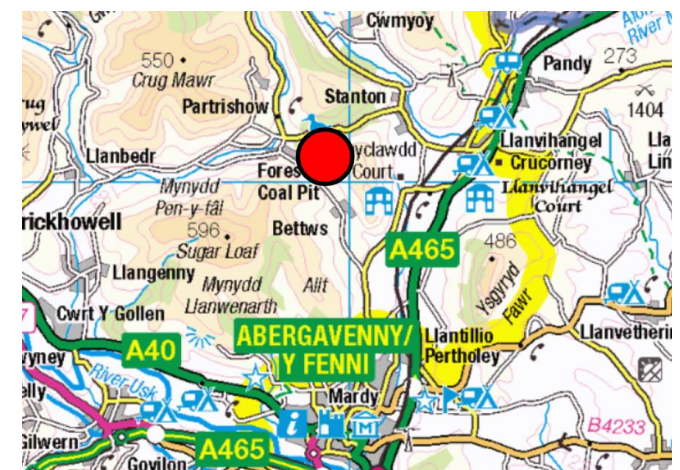
Please contact Eifion Morgan for a tender form 01446 776379/eifionmorgan@hrt.uk.com

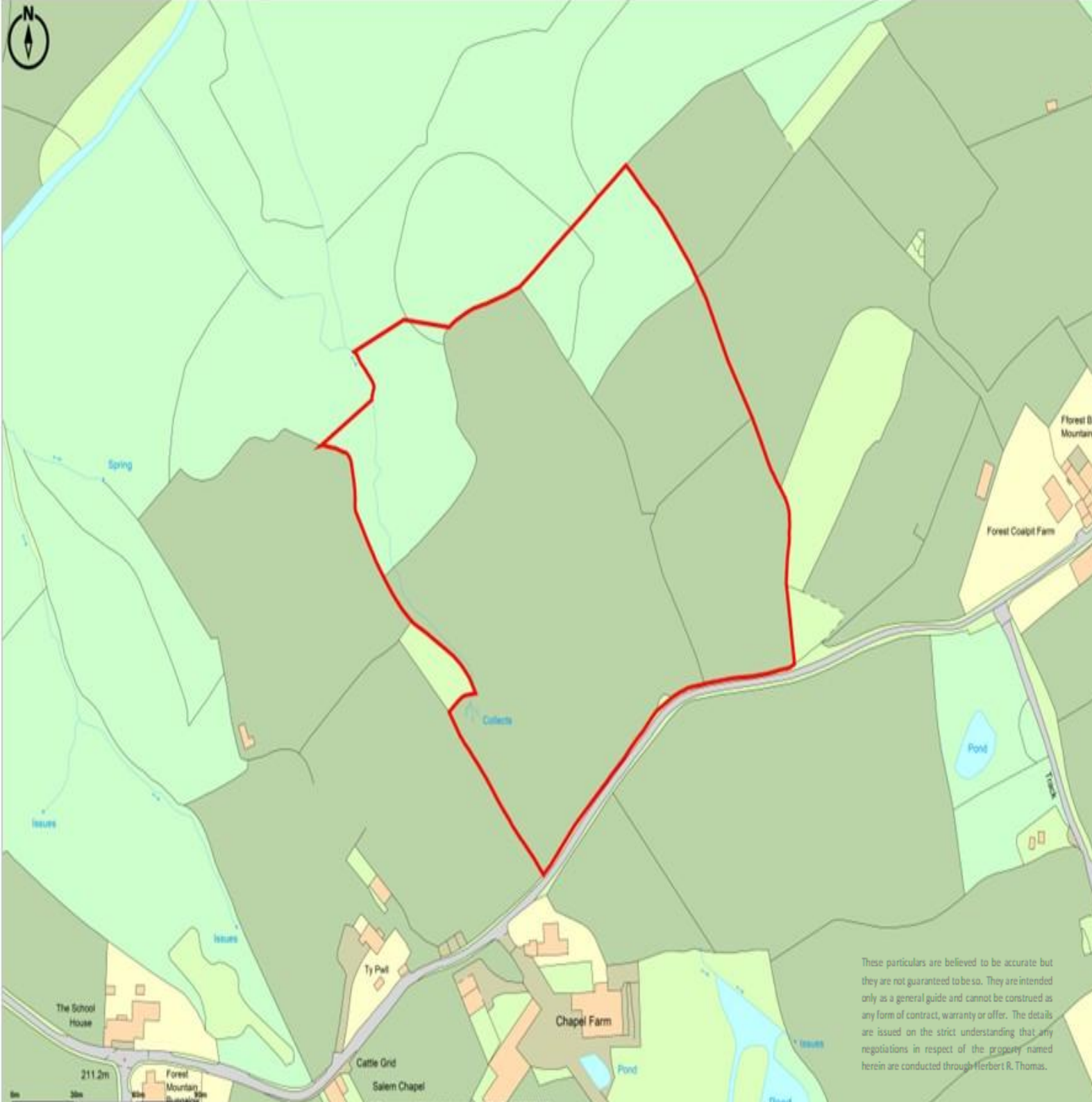
Directions

Postcode: NP7 7LL

Head north on A4042 then turn onto A465, turn left onto Old Hereford Rd. After a mile, heading north towards Forest Coal Pit, turn right. The land is on your right-hand side.

What3Words: reception.hopping.cakewalk





Viewing Arrangements

Viewing strictly by appointment only.

Interested parties must contact the Seller's Agents to arrange an inspection of the land.

For further information please contact:

Contact: Eifion Morgan

Tel: 01446 776379

E-mail: eifionmorgan@hrt.uk.com

hrt.uk.com

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herbert r thomas

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Agri@hrt.uk.com

hrt Est. 1926





Informal Tender – Subject to Contract
Approximately 7.67 Acres of Land, Spring Farm, Coal Le Pit, Abergavenny
NP7 7LL
Offers to be received by: Wednesday 12th August 2026 at 12 noon

Name of Prospective Purchasers _____

Address _____

Postcode _____

Contact Number _____

Email Address _____

PLEASE DETAIL YOUR OFFER(S) BELOW AND SUBMIT TO:

eifionmorgan@hrt.uk.com

Herbert R Thomas, 59 High Street, Cowbridge CF71 7YL

By Wednesday 12th August 2026 12 Noon

Approximately 7.67 acres of land at Spring Farm, Forest Coal Pit, Abergavenny
NP7 7LL

(Please tick relevant box)

Offer Amount :- £ _____

Your Solicitors Details:

Name _____

Solicitors Address _____

Telephone Number _____

Email Address _____

Proposed method of funding i.e. Cash, Mortgage or Bank Loan (or combination)

****Please provide proof of funds i.e Bank Statement/Mortgage in Principle etc.****

Anti-Money Laundering

If your offer(s) are accepted, we will require all parties to complete AML Checks via an independent company called Smart Search

Signed: _____ Date: _____

Printed: _____

*** Please note: The Vendor reserves the right not to accept the highest offer, or any offer put forward.**