



Smiths  
your property experts



# Building Plot

## The Barns, Nailstone

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- Exciting opportunity to build your own home
- Detailed planning consent granted for a substantial barn-style property
- Main house (3,300 square feet) and double garage (450 square feet)
- Provision for four bedrooms, four bathrooms, and three reception rooms

### General Description

Smiths Property Experts offer to the market this exciting opportunity to create your own home in grounds extending to approximately 3 acres, including paddock land, in the well-regarded Midlands village settlement of Nailstone. This is a building plot set in a private location, with two driveway accesses, and 2.75 acres of grazing paddock land to the rear.

Detailed planning consent has been granted for the erection of a substantial village home of approx. 3,300 square feet, with the addition of a double garage measuring approx. 450 square feet. The plans include provision for four double bedrooms, four bathrooms, and three reception rooms, including a study, a sitting room, and a stunning open-plan living kitchen with views across private gardens and paddock land. There is also provision for a downstairs WC, a utility room, and a boot room.

The property will benefit from a shared formal driveway leading to the front. There is also a secondary private driveway from the A447, with access to the rear and paddock land behind. The property will benefit from generous gardens to the rear, a private parking area to the front, and its own paddocks ideal for small equine usage or similar, safeguarding the countryside views to the rear of the new dwelling.

- Grounds extending to approximately 3 acres, including paddock land
- Shared formal driveway leading to private parking
- Secondary driveway with access to paddocks
- Images are computer-generated artist impressions

### Planning

Local Authority: Hinckley & Bosworth Borough Council. Reference number 23/00518/FUL.

### Services and Provisions

There is a former barn on the site that is also to be developed. Provisions for services, driveway installation, and the construction of the adjoining garages are to be negotiated between the purchaser and seller as part of the agreement of sale, before legal work proceeds. It is expected that mains water, drainage, and electricity will be required to develop both properties, and these costs will be shared cost-effectively between the two owners. Agent note: There is an option for the purchaser to contract with the seller, a local construction firm, to complete the build-to-shell and second fix, should they wish.

### The Location

Nailstone lies on the border of Leicestershire and Warwickshire, just 3 miles from the historic and highly regarded market charter town of Market Bosworth. Whilst a peaceful setting, there is excellent commuter access to Leicester, Loughborough, Ashby-de-la-Zouch and Derby. There are numerous countryside walks on the doorstep, and excellent hacking available locally for anyone with small equine requirements.

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NORTH ELEVATION IN CONTEXT ≈ 1:200



WEST ELEVATION IN CONTEXT ≈ 1:200



SOUTH ELEVATION ≈ 1:100



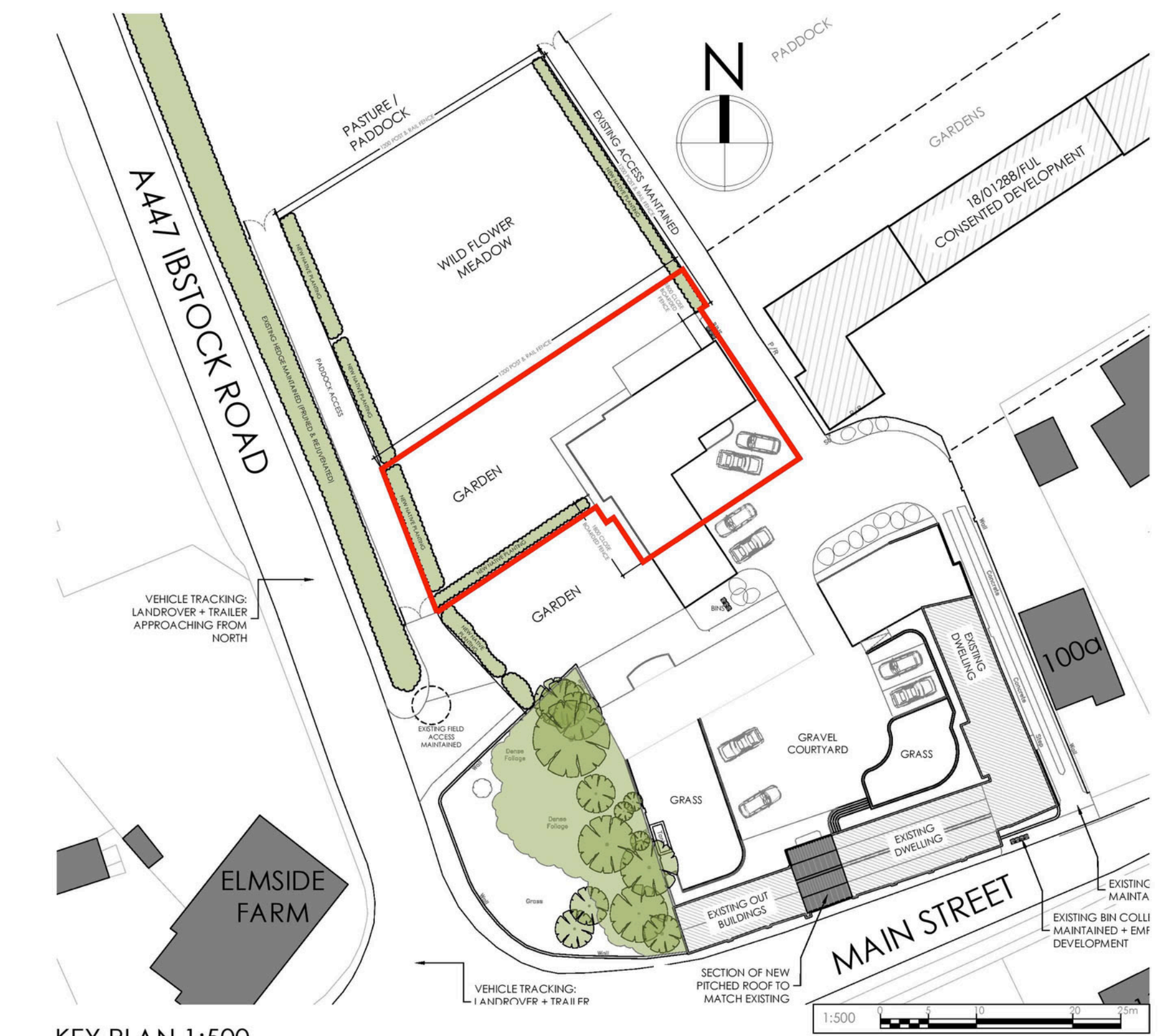
EAST ELEVATION ≈ 1:100



NORTH ELEVATION ≈ 1:100



WEST ELEVATION ≈ 1:100



KEY PLAN 1:500



SOUTH EAST VIEW



NORTH EAST VIEW



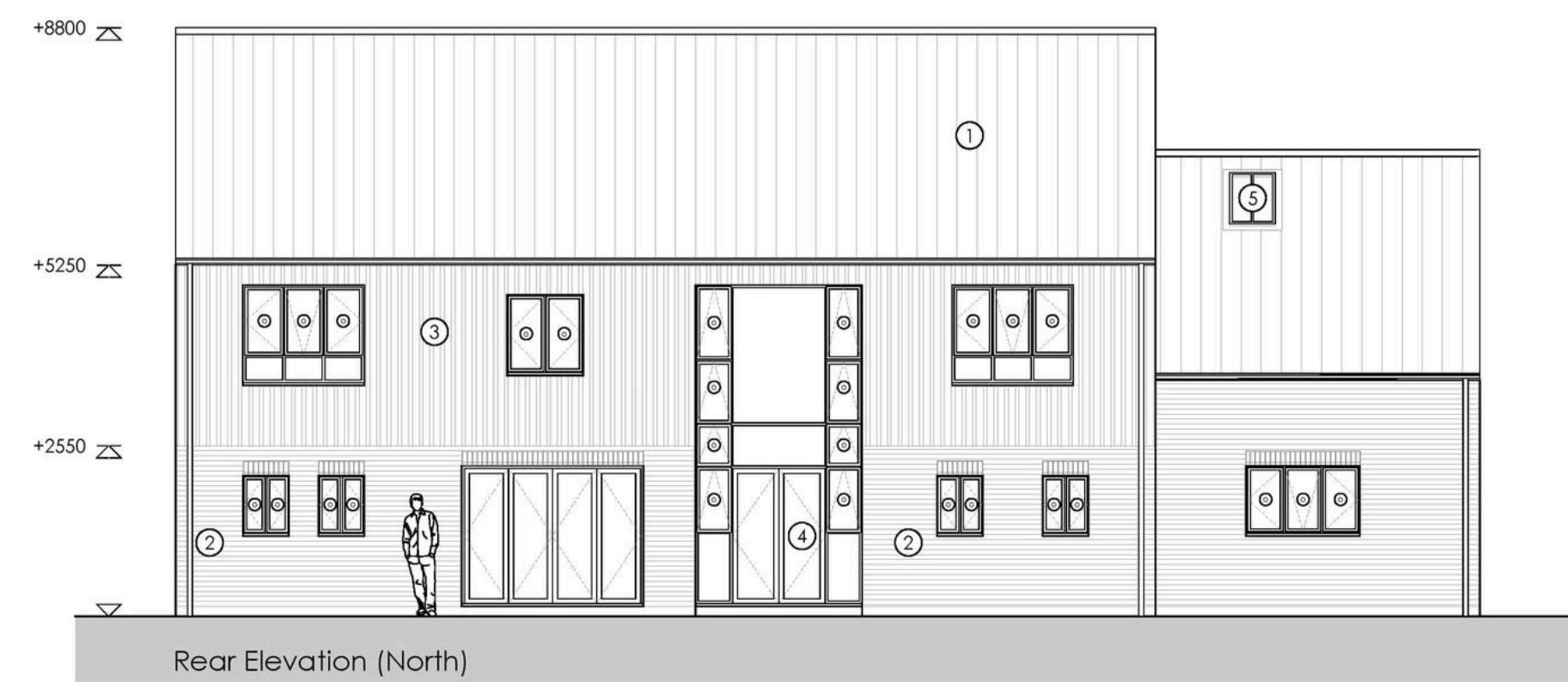
NORTH WEST CONTEXTUAL VIEW - FROM A447 (HEDGE OMITTED)



NORTH WEST VIEW

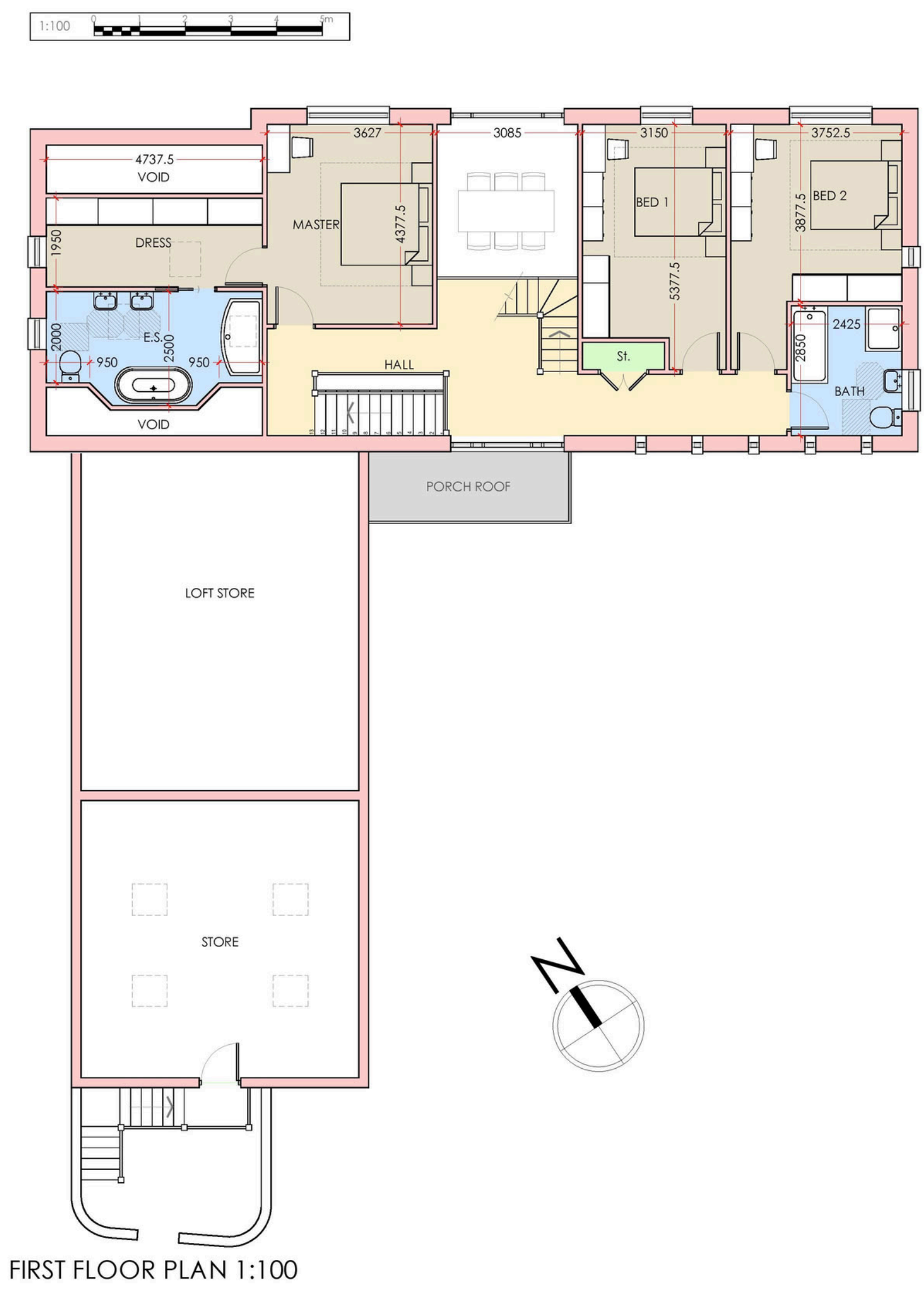
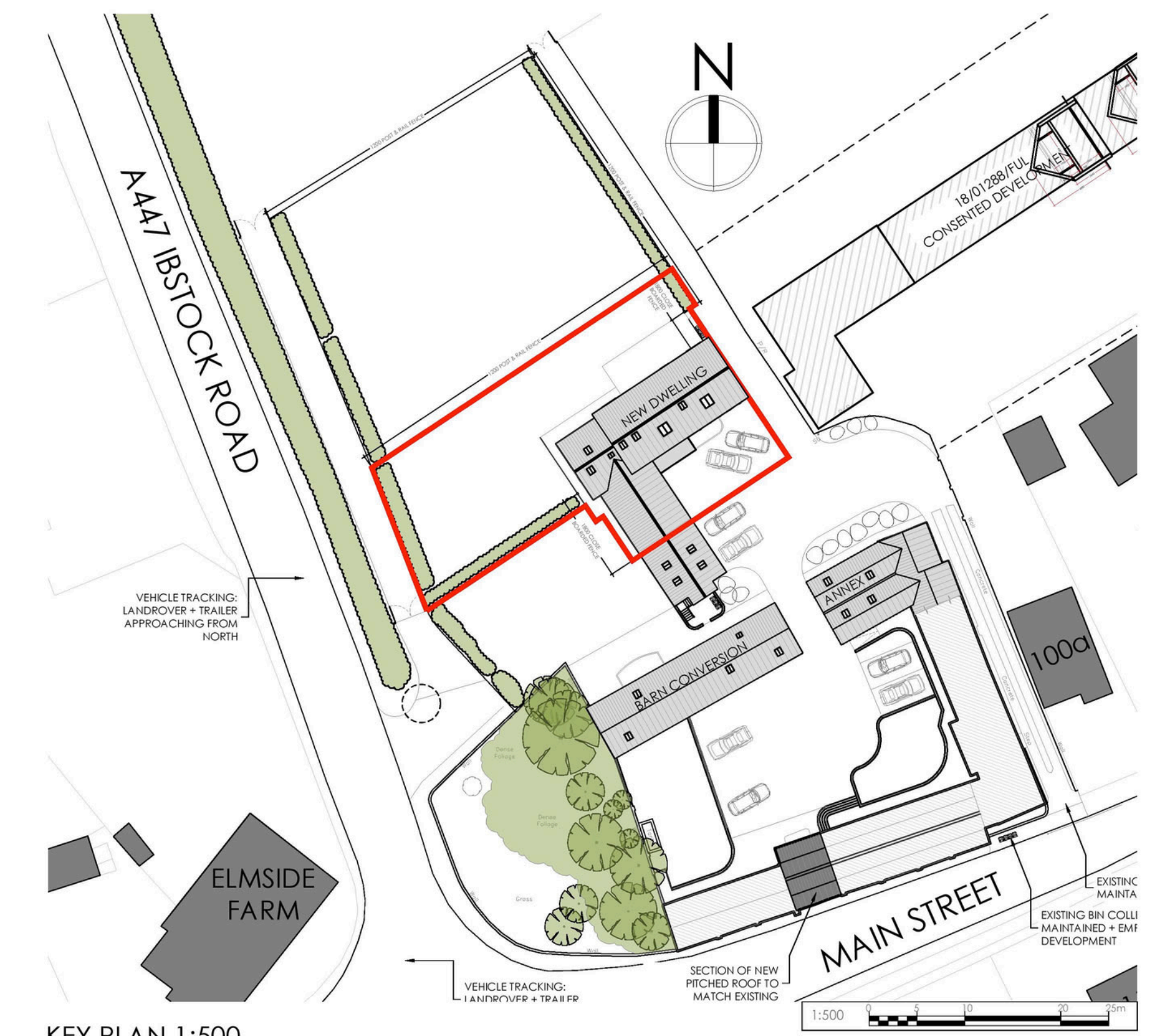


NORTH WEST VIEW



**Materials Key**  
(see also dwg ref.): #

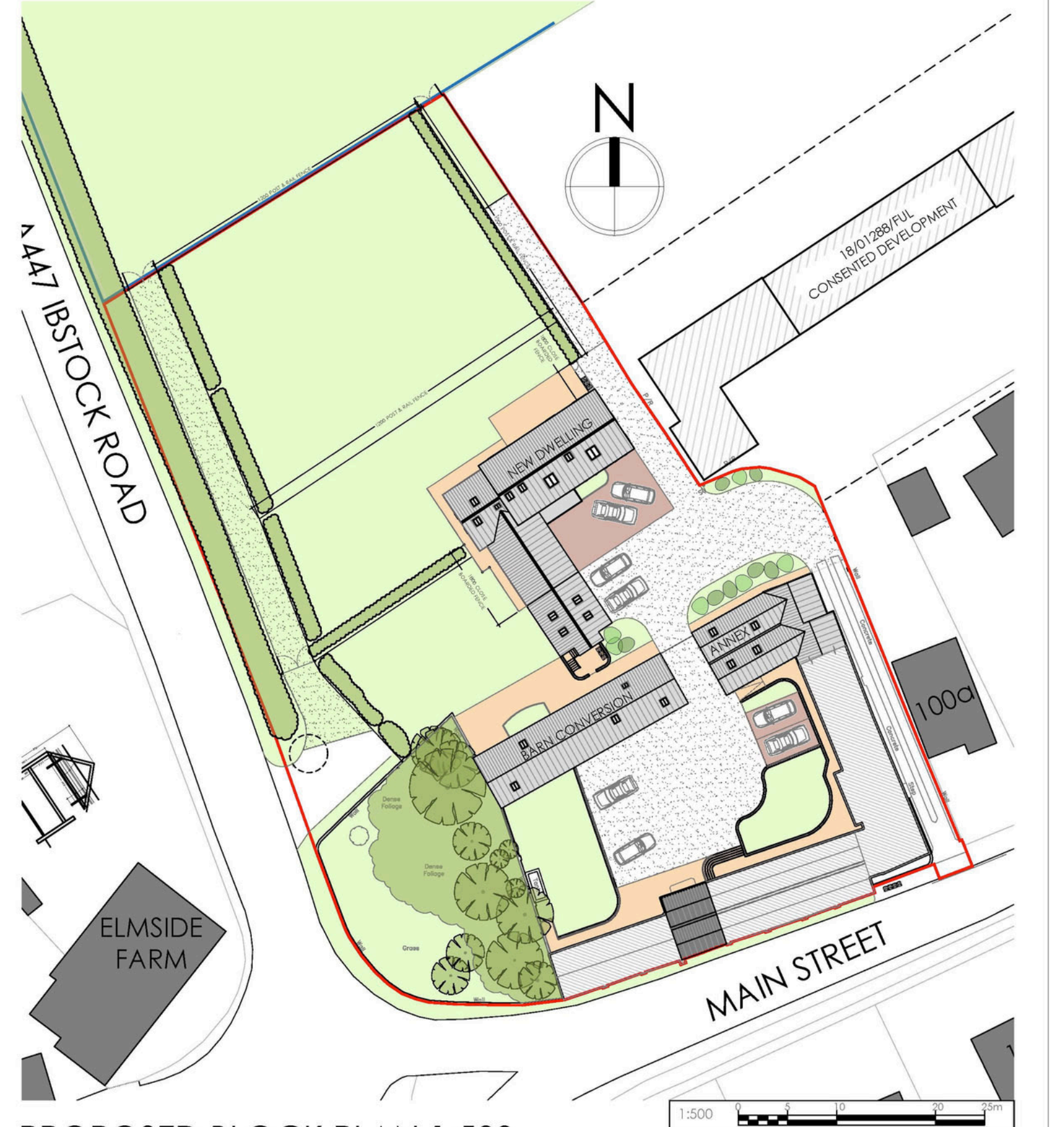
1. Dark grey roof slate
2. Red facing brickwork
3. Silvered timber cladding
4. Grey Timber / Metal windows & doors
5. Conservation style rooflights



- Circulation space/stairs
- Kitchens & bathrooms
- Habitable rooms/bedrooms
- Storage rooms/cupboards
- New wall hatch
- Existing wall hatch
- Fast charge socket. 7kw Mode 3 with type 2 connector.



PROPOSED SITE LAYOUT / ROOF PLAN 1:200



PROPOSED BLOCK PLAN 1:500

Site layout legend:

	Block paving		Proposed site boundary
	Tarmac finish		Red line site area: 4840 SQM / 52311 SQFT
	Paving slabs		Proposed tree planting
	Areas laid to grass		Existing tree planting (root protection in red)
	Low level landscape planting		Removed trees



## Distances

Market Bosworth 4 miles, Loughborough 12 miles, Nottingham 28 miles, and Birmingham 33 miles.

Dixie Grammar School 3 miles, Twycross House School 7 miles, and Loughborough Endowed Schools 12 miles.

Nuneaton Train Station 13 miles (Nuneaton to London via rail from 59 minutes), and East Midlands Airport 14 miles, (distances and timings are approximate).

## Important Information

Every care has been taken with the preparation of these Sales Particulars, but complete accuracy cannot be guaranteed. In all cases, buyers should verify matters for themselves. Where property alterations have been undertaken buyers should check that relevant permissions have been obtained. These particulars do not constitute any part of an offer or contract. All measurements should be treated as approximate and for general guidance only. Photographs are provided for general information, and it cannot be inferred that any item shown is included in the sale. Plans are provided for general guidance and are not to scale. Any outline plans within these particulars are based on Ordnance Survey data and are provided for reference only.



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