



St. Margarets Way, Fleggburgh - NR29 3DN

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&  
WATSON**

HYBRID ESTATE AGENTS



## St. Margarets Way

Fleggburgh, Great Yarmouth

This MID-TERRACE HOME enjoys a SPACIOUS FEEL, low maintenance gardens and RESIDENTS PARKING. The accommodation includes uPVC DOUBLE GLAZING and electric heating. Inside, the HALL ENTRANCE includes STORAGE, with a front facing SITTING ROOM, MODERNISED OPEN PLAN KITCHEN/DINING ROOM and rear utility lobby. Upstairs, THREE BEDROOMS lead off the landing, with the MODERNISED FAMILY BATHROOM including a SHOWER over the bath.

Council Tax band: A

Tenure: Freehold

EPC Energy Efficiency Rating: D

EPC Environmental Impact Rating: D

- Mid-Terrace Home
- Hall Entrance with Storage
- Open Plan Kitchen/Dining Room
- Three Bedrooms
- Utility Lobby
- Modernised Family Bathroom
- Low Maintenance Gardens
- Residents Parking



Fleggburgh is a sought after semi-rural village providing easy access to road links for Norwich City and Great Yarmouth. Located within the village is an active village hall, doctors surgery, primary school, country lanes for walking enthusiasts, a very popular village pub/restaurant and Broad Farm providing a venue for regular seasonal live music.

#### SETTING THE SCENE

Accessed via a pedestrian footpath, a low level brick wall and wrought iron gate lead to the low maintenance front garden complete with plum slate borders and a central brick weave pathway which leads to the main entrance door.

#### THE GRAND TOUR

As you head inside, the hall entrance is finished with wood effect flooring and stairs to the first floor landing, with a storage cupboard below and built-in wine rack. Doors lead off to the kitchen/dining room and main sitting room both of which are finished with wood effect flooring underfoot. The main sitting room offers a picture window to front whilst the kitchen/dining room is open plan with a feature decor and recessed spotlighting above. The kitchen area includes a range of wall and base level units with an inset electric ceramic hob and built-in electric oven with extractor fan over, whilst also enjoying views to the rear over the garden - creating a light and bright feel. A useful rear porch leads off and also provides space for a utility area with room for laundry appliances.



Heading upstairs, the carpeted landing includes a range of built-in storage whilst doors lead off to the three bedrooms and family bathroom. The family bathroom includes a white three piece suite with a shaped panelled bath, electric shower over, tiled walls and a heated towel rail. The three bedrooms are all carpeted and include uPVC double glazing.

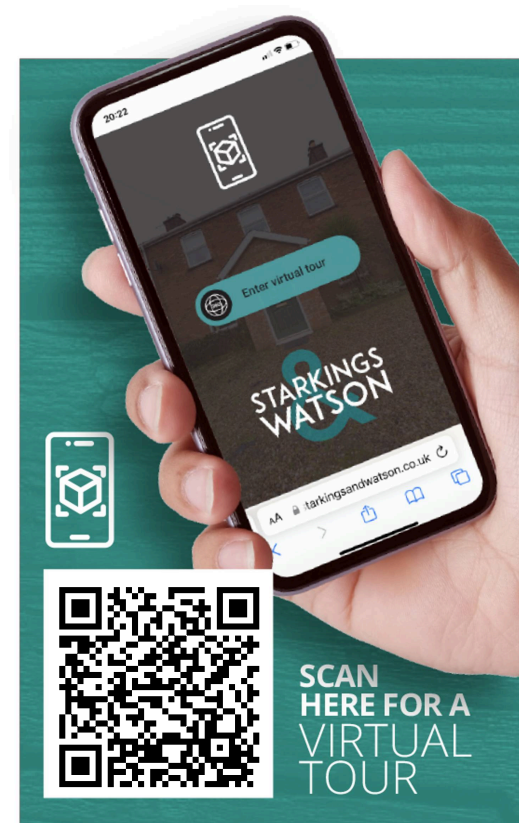
#### FIND US

Postcode : NR29 3DN

What3Words : ///heads.beanbag.recruiter

#### VIRTUAL TOUR

View our virtual tour for a full 360 degree of the interior of the property.







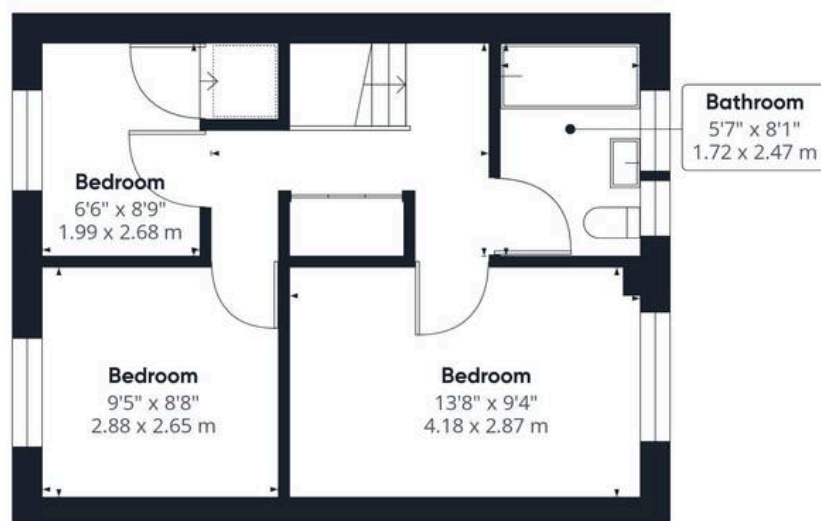
## THE GREAT OUTDOORS

The rear garden is low maintenance having been laid to brick weave, with borders in place. The garden is enclosed with timber panel fencing whilst including a brick built barbecue and brick built storage shed with gated access to the rear.





Ground Floor



Floor 1

Approximate total area<sup>(1)</sup>

828.28 ft<sup>2</sup>

76.95 m<sup>2</sup>

(1) Excluding balconies and terraces

While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale. This floor plan is for illustrative purposes only.

Calculations are based on RICS IPMS 3C standard.

GIRAFFE 360



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