



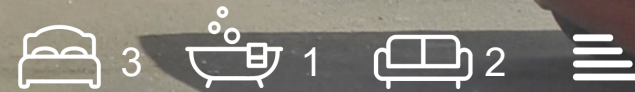
BYWATER HERRING

SALES & LETTINGS

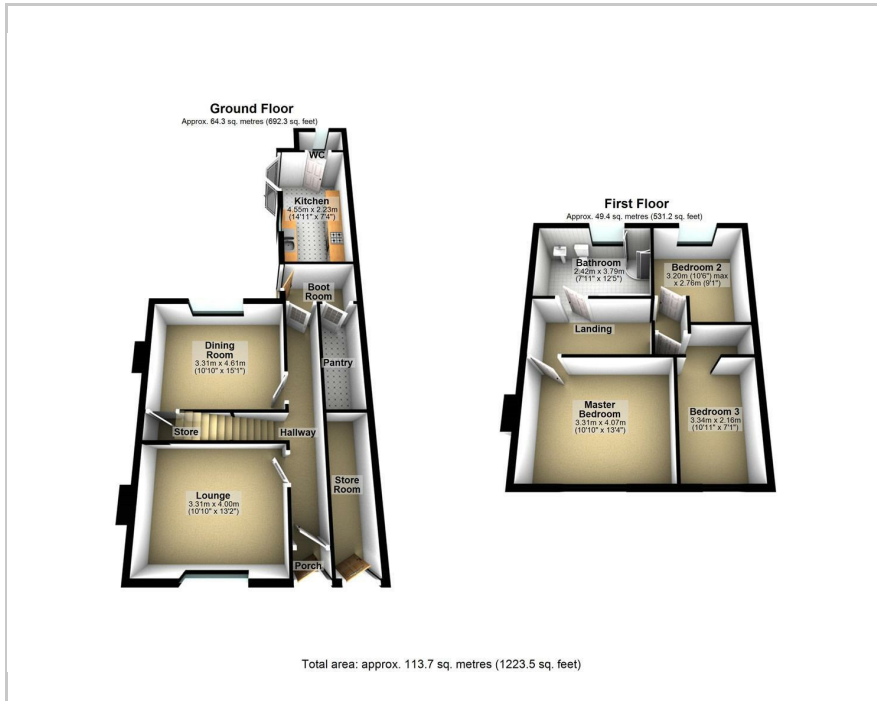
- A TRADITION OF TRUST -



Cromwell Road, Rushden
Offers In The Region Of £260,000



Floor Plan

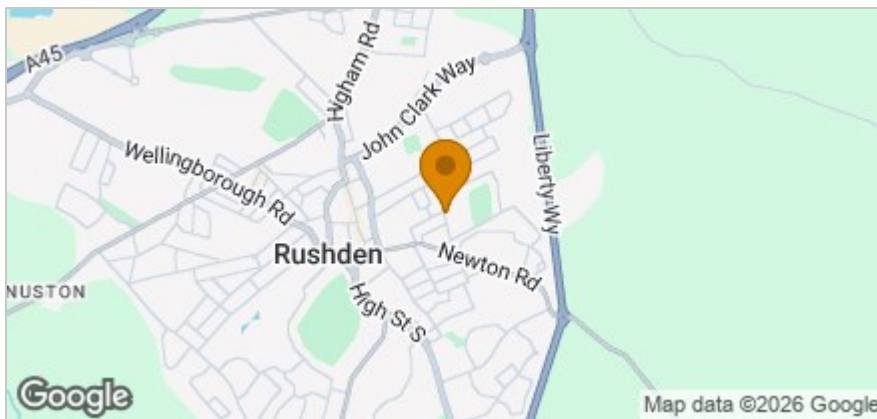


Accommodation

- A thoughtfully renovated mid-terrace, ready for you to make it your own
- Brand new navy shaker kitchen with stylish splashback tiles, stone worktops and a gas hob
- Large four-piece family bathroom with separate shower enclosure and bath
- Fully renovated throughout with new electrics, new boiler, new heating system and new flooring
- Two reception rooms plus a pantry and a boot room
- Original hallway flooring restored and retained as a nod to the house's Victorian roots
- Rear garden with new lawn, paved patio and gated rear access - with French doors from the kitchen
- Newton Road Primary School is a five minute walk; Rushden Academy about 10 minutes by bike
- Third bedroom has a small inner lobby perfect for use as a walk-in wardrobe or study area
- Wellingborough station is 15 mins drive away, with trains reaching St Pancras in under an hour



Area Map



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	



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