

COULTERS[©]

1 WINDSOR GARDENS

MUSSELBURGH, EAST LoTHIAN, EH21 7LP

 4 BED  2 BATH  2 PUBLIC



TAKE A LOOK INSIDE

Set within a charming cobbled square overlooking a picturesque village green, this exceptional end-terrace home offers beautifully presented accommodation combining timeless character with high-quality contemporary finishes throughout. Thoughtfully redesigned for modern family living, the property enjoys an enviable position with unrestricted on-street parking within the square and a wonderfully landscaped south-east facing garden.

KEY FEATURES



Exceptional end terrace home.



Four double bedrooms, one with an en-suite.



Beautifully landscaped south-east facing rear garden.



Unrestricted onstreet parking.



Positioned within a charming cobbled square.



Upgraded throughout with high-quality finishes.

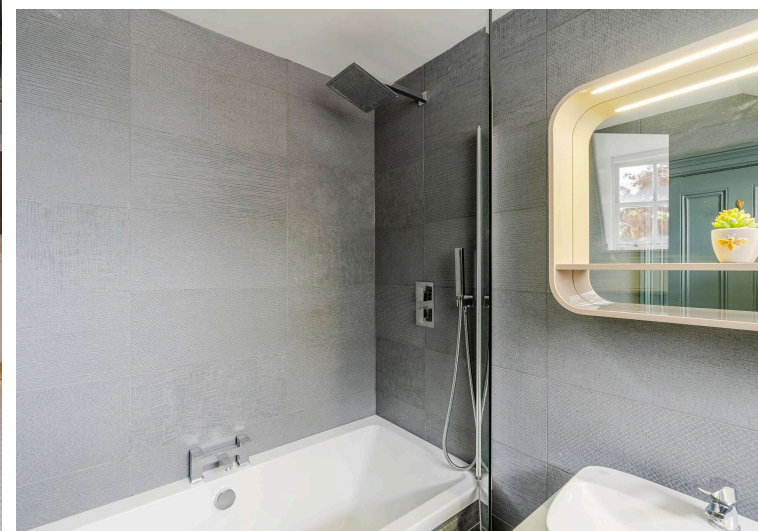


EPC Rating - C



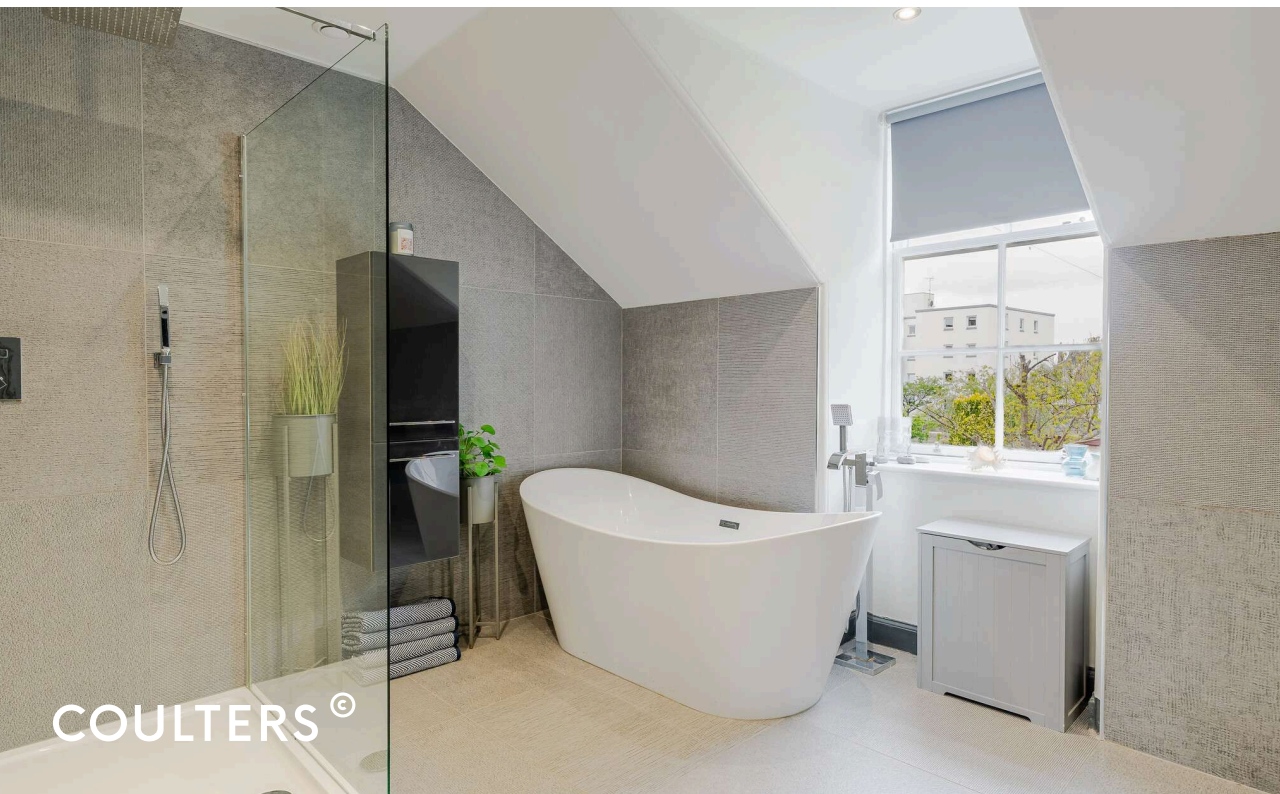
Council Tax Band - F





The heart of the home is the impressive open plan kitchen, dining and lounge area which extends from the front to the rear of the property, creating a superb space for both everyday living and entertaining. The German-designed Häcker kitchen is finished to an exceptional standard and complemented by a premium range of Siemens and Gaggenau appliances. A stylish built-in dining area creates the perfect setting for family meals and social gatherings, while a large patio door provides direct access to the rear garden, allowing natural light to flood the space and seamlessly connect indoor and outdoor living. Integrated Bose ceiling speakers wired to Sonos enhance the kitchen and lounge area, creating a sophisticated entertainment experience.





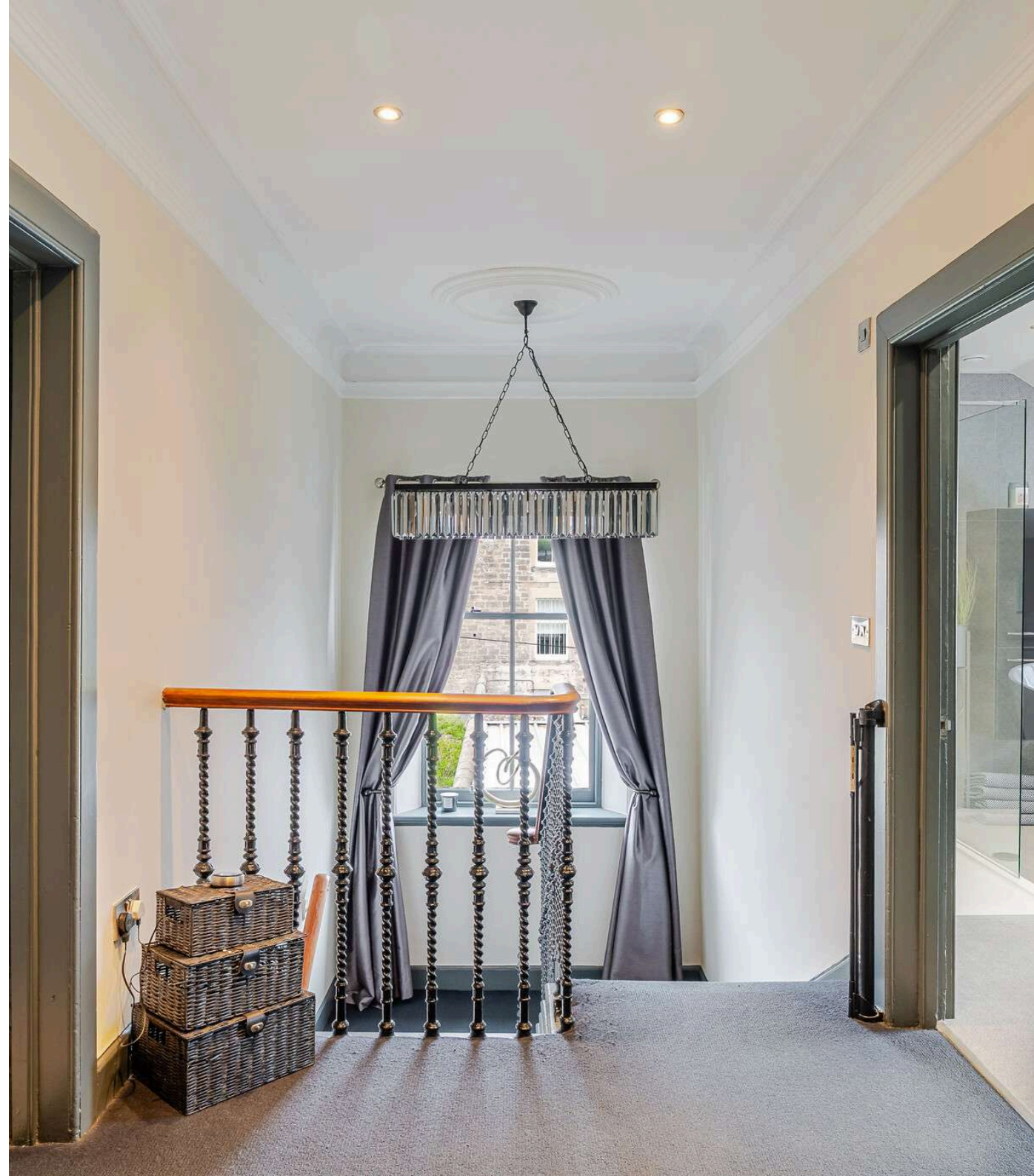
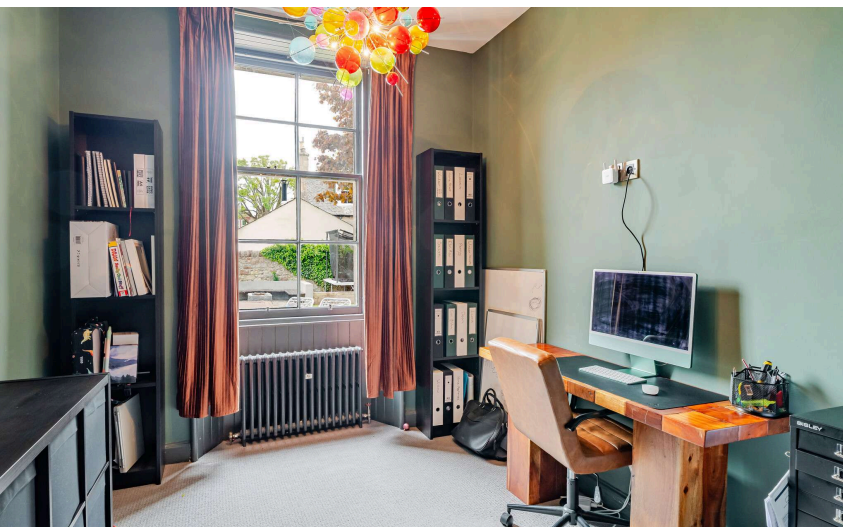
MORE INFORMATION

In addition to the main living space, there is a formal sitting room featuring a striking fireplace, offering a cosy and elegant retreat. A versatile study, which could also serve as a ground floor bedroom, provides further flexibility for family life or home working. Completing the ground floor is a spacious utility room with WC and an additional rear door giving further access to the garden.

Upstairs, the property continues to impress with three exceptionally spacious double bedrooms, one of which benefits from a generous en-suite bathroom. The luxurious family bathroom is fully tiled and beautifully appointed, featuring a separate bath and walk-in shower.

The property further benefits from beautifully restored original cast iron radiators throughout and Karndean Art Deco flooring across the property adding a further touch of luxury and convenience to this remarkable home.

Externally, the large private garden with a south-easterly aspect has been thoughtfully landscaped to create an outstanding outdoor space, complete with a lawn, decking area and a dedicated firepit seating area with built-in seating, ideal for relaxing or entertaining throughout the seasons.





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THE LOCAL AREA

Situated on the southern shore of the Firth of Forth, on the banks of The River Esk, Musselburgh is a popular and historic East Lothian coastal town directly adjacent to Edinburgh. Famous for its world renowned race course, as well as the Musselburgh Links golf course, it enjoys an enviable location that offers easy access to Edinburgh as well as to the countryside and beaches of East Lothian.

Along with golf and horse racing, the town benefits from a seafront and harbour as well as the Musselburgh Lagoons which has a recently expanded nature reserve and walking routes. As the largest town in East Lothian, Musselburgh enjoys an array of local and well known high street shops, cafes, bakeries and restaurants including Luca's famous ice cream parlour and East Coast, an award winning fish and chip shop / restaurant. There is a large Tesco within a short walk of the property, and Fort Kinnaird Retail Park is in easy reach.

Loretto School, one of the UK's leading independent schools, is a short walk from the property with Queen Margaret University less than a 10 minute drive.

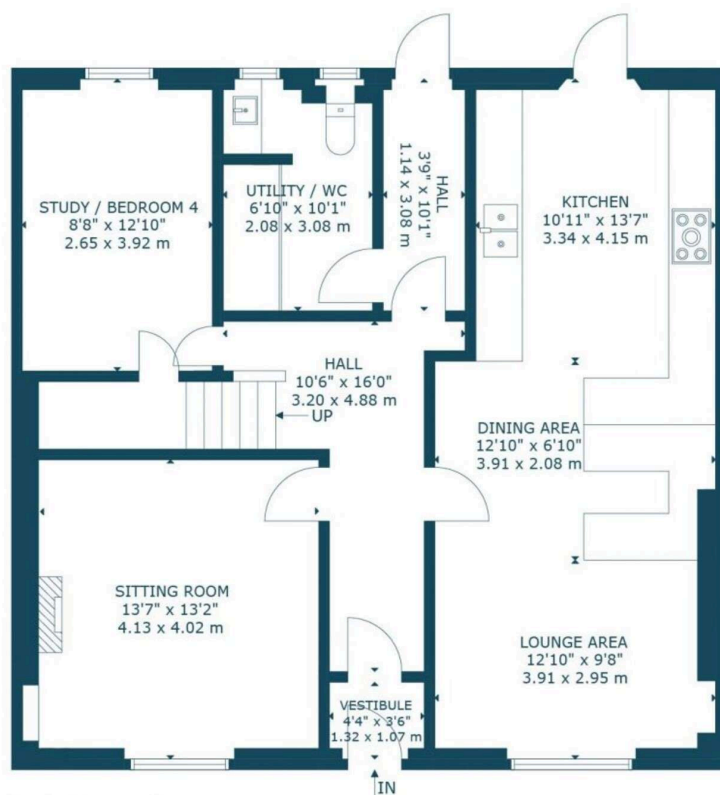
Edinburgh Waverley train station is one stop (7 minutes) from Musselburgh station which also provides regular trains to other destinations such as North Berwick and further afield. Musselburgh is a hub for the East Lothian bus network providing excellent transport links.

EXTRAS

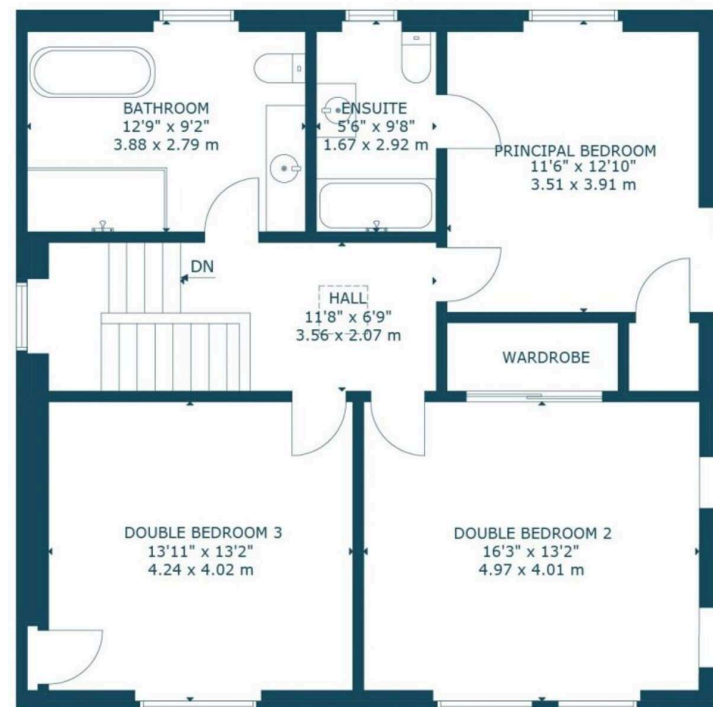
All integrated appliances, window coverings and light fittings are included in the sale price.

HOME REPORT VALUATION: £690,000





GROUND FLOOR



FIRST FLOOR

1 WINDSOR GARDENS, MUSSELBURGH, EAST LOTHIAN, EH21 7LP
NOT TO SCALE - FOR ILLUSTRATIVE PURPOSES ONLY
APPROXIMATE GROSS INTERNAL FLOOR AREA 1,901 SQ FT / 177 SQ M
ALL MEASUREMENTS AND FIXTURES INCLUDING DOORS AND WINDOWS
ARE APPROXIMATE AND SHOULD BE INDEPENDENTLY VERIFIED.
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LEGAL NOTE

From 1 February 2022, residential properties in Scotland are required by law to have installed a system of inter-linked smoke alarms, carbon monoxide detectors and heat detectors (the "interlinked-system"). No warranty is given that any interlinked system has been installed in this property and interested parties should make their own enquiries.

All systems and appliances in the property are sold as seen and no warranties will be given.