



Park Road  
Ilkeston



## Property Description

\*\*\* More Than Meets The Eye \*\*\*

No expense has been spared on this exquisite and modern three bedroom semi detached family home situated in the sort after location of Ilkeston benefiting from a spacious and beautiful 26' x 15' dining kitchen and a feature solid ash with glass panel staircase. In brief property comprises entrance porch, living room, dining kitchen with breakfast bar and lantern pyramid skylight and cloakroom. To the first floor there are three well proportioned bedrooms with a WC and fitted wardrobes to the master. Outside, the property is set back from the road with driveway providing off street parking, borders and mature trees, outside lighting and secure gated access to the side and rear gardens. Well presented rear garden benefiting from a raised patio area with two victoria plum trees, conference pear tree and apple tree. Lawn with borders and mature trees, Outside lighting, Garden shed and an outside cold water tap.

## Entrance Hall

Entrance through double glazed door to the front elevation, engineered wood flooring, central heating radiator, spotlight to ceiling, uPVC double glazed window to the side elevation and a solid oak door to the living room.

## Living Room

16' x 15' ( 4.88m x 4.57m )

Engineered wood flooring, feature solid ash staircase with glass panels to the first floor,

two central heating radiators, TV point, spotlights to ceiling, uPVC double glazed window to the front and side elevation and a solid oak door to the stunning dining kitchen.

## Dining Kitchen

26' x 15' ( 7.92m x 4.57m )

Fitted with a range of matching wall and base units, solid wood work surface with inset stainless steel sink and drainer and mixer tap. Integrated appliances include double 'NEFF' oven, 'NEFF' microwave, 'NEFF' five ring gas hob, 'NEFF' dishwasher, 'BOSH' washing machine and dryer. Space for American style fridge freezer, breakfast bar, tiled splashbacks, spotlights to ceiling, engineered wood flooring, two central heating radiators, space for a dining table with a glass roof lantern pyramid skylight above, uPVC double glazed windows to the rear and side elevations and two uPVC double glazed french doors to the rear and side elevations leading to the well presented garden. Solid oak sliding door to the shower room.

## Shower Room

Comprising double corner shower unit, low level WC, wash basin, fully tiled walls, spotlights to ceiling, tiled flooring, chrome heated towel rail and a uPVC double glazed obscure window to the side elevation.

## First Floor

## Landing

Carpet flooring, loft access via pull down ladder to fully boarded loft with two double glazed windows, central heating radiator, spotlights to ceiling and three solid oak doors to the three bedrooms.

with borders and mature trees, Outside lighting, Garden shed and an outside cold water tap.

### Bedroom One

12' 2" x 11' 8" ( 3.71m x 3.56m )

Carpet flooring, central heating radiator, fitted wardrobes, uPVC double glazed window to the front elevation and opening to WC.

### Wc

Low level WC, vanity wash basin, central heating radiator, spotlights to ceiling and a uPVC double glazed window to the front elevation.

### Bedroom Two

12' 5" x 8' 8" ( 3.78m x 2.64m )

Carpet flooring, central heating radiator and a uPVC double glazed window to the rear elevation.

### Bedroom Three

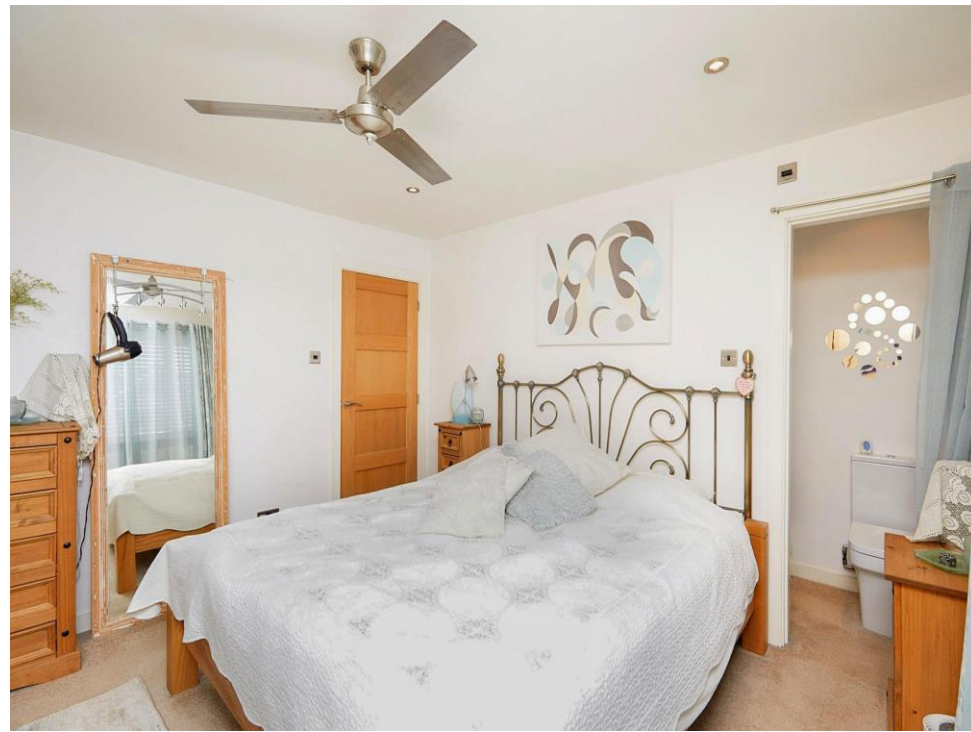
8' 7" x 5' 6" ( 2.62m x 1.68m )

Carpet flooring, central heating radiator and a uPVC double glazed window to the rear elevation.

### Outside

Property is set back from the road with driveway providing off street parking, borders with mature trees, outside lighting and secure gated access to the side and rear gardens. Well presented rear garden benefiting from a raised patio area with two victoria plum trees, conference pear tree and apple tree. Lawn









This floorplan is for illustrative purposes only and is not drawn to scale. Measurements, floor-areas, openings and orientations are approximate. They should not be relied upon for any purpose and do not form any part of an agreement. No liability is taken for any error or mis-statement. All parties must rely on their own inspections.

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**EPC Rating: C**

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Tenure: Freehold



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