

BEN ROSE



Pall Mall, Chorley

£650 PCM

Ben Rose Estate Agents are delighted to present to the rental market this one bedroom, first floor apartment, located within a short walking distance of Chorley Town Centre. The property is within commuting distance of all major northwest towns and cities via local motorways (M6 & M61) railway/bus links and great local supermarkets, the property is ideally placed for commuting and must be viewed to appreciate the accommodation on offer.

Recently refurbished throughout. Offering modern living. Would ideally suit a professional or couple. Internally, the property comprises of an entrance hall with access to all rooms.

To the front lies the spacious lounge/kitchen. Modern kitchen, ample worktops, integrated hob/oven and space for additional freestanding appliances. Room for a three person couch adjacent.

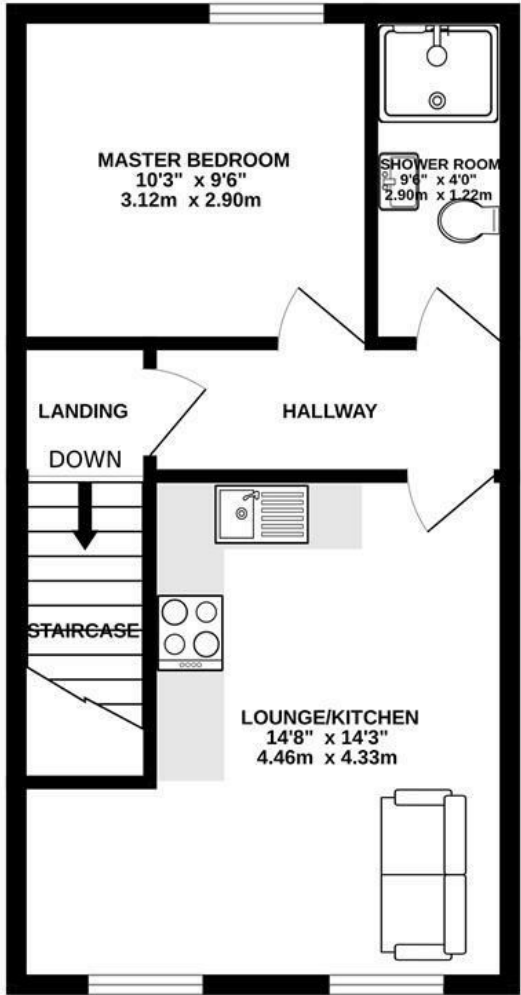
Across the hall lies a modern shower room and a good sized double bedroom.





BEN ROSE

1ST FLOOR
398 sq.ft. (37.0 sq.m.) approx.




TOTAL FLOOR AREA : 398 sq.ft. (37.0 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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We do our best to ensure that our sales particulars are accurate and are not misleading but this is for general guidance and complete accuracy cannot be guaranteed. We are not qualified to verify tenure of a property and prospective purchasers should seek clarification from their solicitor. all measurements and land sizes are quoted approximately. The mention of any appliances, fixtures and fittings does not imply they are in working order.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
	71	75
England & Wales	EU Directive 2002/91/EC 	

Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
England & Wales	EU Directive 2002/91/EC 