

COULTERS[©]

3 GILSLAND GRANGE

NORTH BERWICK, EAST LOTHIAN, EH39 5HZ

 5 BED  3 BATH  3 PUBLIC



TAKE A LOOK INSIDE

A superb five bedroom detached family home situated within a desirable modern development in the popular seaside town of North Berwick.

This well presented property offers flexible and spacious accommodation throughout and benefits from a double garage, double driveway and private rear garden with leafy outlook.



KEY FEATURES



Detached family home



Five double bedrooms, two with ensuite



Enclosed garden to the rear with private outlook



Double garage and double driveway



Close to all local amenities



Within a short walk of local train station and schools



The property which is located within close proximity of the train station, local schooling and play parks comprises; a welcoming vestibule and entrance hall, spacious sitting room with gas fire and doors to the rear garden, large dining kitchen with breakfast bar, five ring gas hob, eye level oven, integrated microwave and doors to the rear garden, separate utility room with direct access to the garage, there is an additional family room and WC.

On the first floor the principal bedroom boasts double fitted wardrobes and ensuite shower room, four further double bedrooms with fitted wardrobes - one of which has an ensuite, a family bathroom with three piece suite and separate shower, and a partially floored attic with Ramsay ladder.





THE LOCAL AREA

The beautiful East Lothian seaside town of North Berwick is a highly desirable location. Just twenty five miles from Edinburgh the town is popular with commuters working in the city, and the regular train service which is within walking distance of the property allows for convenient travel back and forth to Edinburgh.

The town boasts spectacular beaches and renowned golf courses alongside independent boutiques, restaurants and coffee shops. There are exceptional leisure amenities on offer including a tennis club; yacht club; rugby and football clubs; putting greens; and a sports centre with gym, fitness classes, and a swimming pool. The newly renovated Marine Hotel is home to a luxurious health club and spa as well as fine dining choices.

The bustling High Street offers a variety of amenities with a butcher, post office, chemist, and Co-op; and an Aldi and Tesco are located on the East side of the town.

Reputable local primary and secondary schooling including North Berwick High School are within walking distance. There is private schooling at The Compass School in Haddington, Belhaven Hill in Dunbar, and Loretto in Musselburgh. Edinburgh schooling options are easily accessed.

EXTRAS

All light fittings, window coverings, fitted flooring and integrated appliances are included in the sale. Free standing washing machine and tumble dryer excluded.

There are annual factor fees for the care of the communal grounds payable to Ross & Liddell which are approximately £350 per annum.



COULTERS®

Gilsland Grange,
North Berwick,
East Lothian, EH39 5HZ



Approx. Gross Internal Area
2741 Sq Ft - 254.64 Sq M
(Including Garage)
For identification only. Not to scale.
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GET IN TOUCH

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LEGAL NOTE

From 1 February 2022, residential properties in Scotland are required by law to have installed a system of inter-linked smoke alarms, carbon monoxide detectors and heat detectors (the "interlinked-system"). No warranty is given that any interlinked system has been installed in this property and interested parties should make their own enquiries.

All systems and appliances in the property are sold as seen and no warranties will be given.