



26 Carnbee Crescent  
LIBERTON | EH16 6GF

  
**warners**  
solicitors & estate agents





## 26 Carnbee Crescent

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Nestled on a peaceful residential street, just moments from excellent local amenities, quick transport links, and expansive green spaces, this modern terraced home offers an exceptional opportunity for first-time buyers, young families, or downsizers alike. Beautifully presented throughout, the property enjoys a fully enclosed, landscaped rear garden ideal for outdoor entertaining, as well as the added convenience of a private driveway.

The accommodation is thoughtfully laid out to provide comfortable and functional living. A bright and welcoming entrance hallway leads into a spacious lounge filled with natural light from a large picture window. A charming feature fireplace with electric fire insert adds warmth and character, while a useful storage cupboard enhances practicality. To the rear, the well-appointed kitchen/dining room provides ample space for casual dining and boasts direct access to the garden, making it perfect for summer barbecues or alfresco meals. Upstairs, the home hosts two generously sized bedrooms, both benefiting from integrated storage. A family bathroom with a three-piece suite and shower over the bath completes the upper floor.

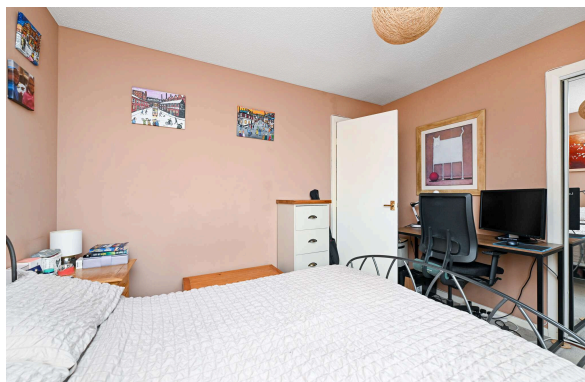
Externally, the landscaped rear garden offers a quiet, private retreat, laid mainly to lawn with a patio area perfect for relaxing or entertaining. A garden shed provides useful external storage. The front of the property includes a private driveway for off-street parking.

### Key Features:

- Bright and spacious lounge with picture window and feature fireplace
- Contemporary kitchen/dining room with direct garden access
- Two generous bedrooms, both with integrated storage
- Modern bathroom with shower over bath
- Landscaped rear garden with patio – ideal for outdoor entertaining
- Private front garden and driveway
- Double glazing and gas central heating
- Loft for additional storage

**PRICE & VIEWING:** Please refer to our website, [www.warnersllp.com](http://www.warnersllp.com) or call us on 0131 667 0232.



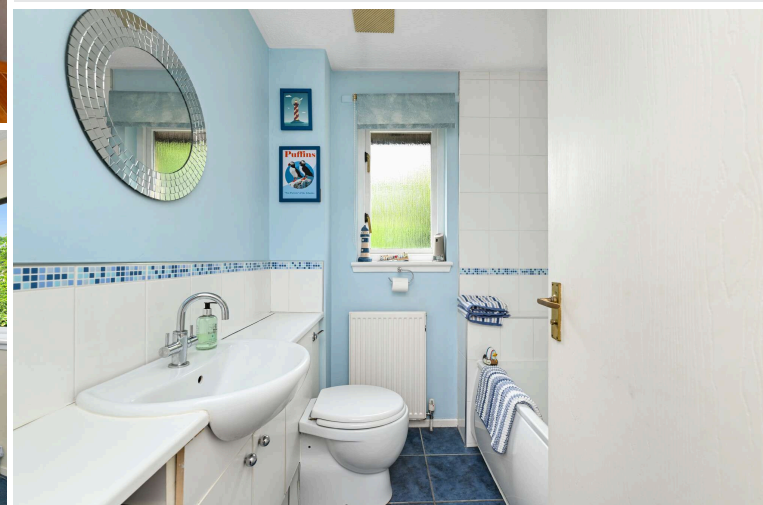


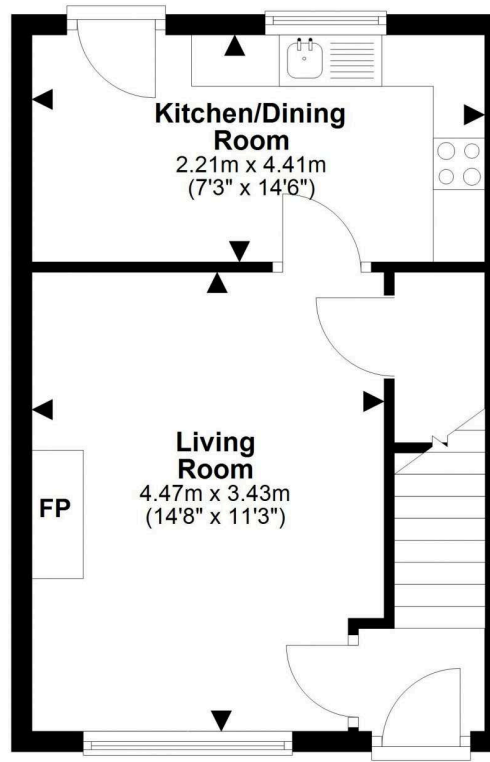
Liberton is a sought after suburb in the south approximately four miles from Edinburgh City Centre. There is a good choice of shopping outlets on hand, with further amenities available at the Cameron Toll Shopping Centre including Sainsburys and a gym. Newington is just a little further afield, with the impressive Straiton Retail Park which includes a Marks and Spencer within easy reach. Schooling is well represented from nursery to senior level and the property is also ideally positioned for those connected to the Royal Infirmary. Regular bus services operate to and from the city centre and to the surrounding areas with the city by-pass ensuring easy access to other outlying districts, Edinburgh Airport and main motorway networks.

Energy Rating C, Council Tax Band D

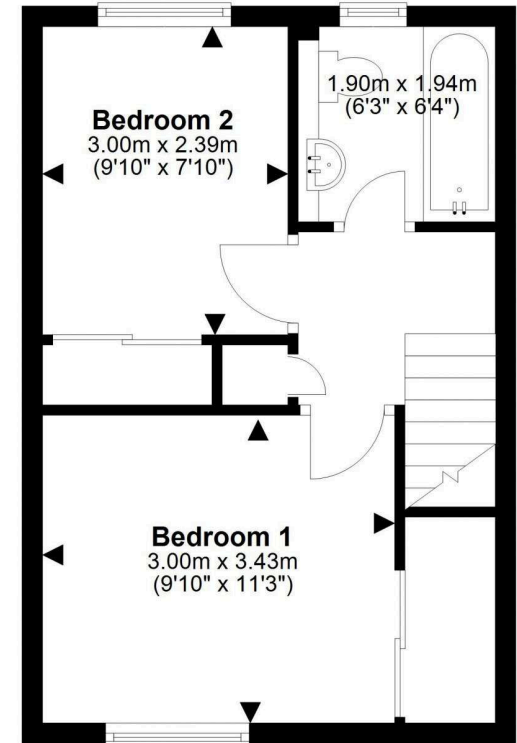
Factor fees payable to Charles White Ltd, approximately £108 per annum

All fixtures, fittings, curtains, blinds, integrated appliances, the fridge/freezer and the washing machine are included in the sale.





**Ground Floor**



**First Floor**

This plan is for illustrative purposes only and should only be used as such by a prospective purchaser.  
For details of the internal floor area, please refer to the Home Report.