

for sale

£475,000



## Towcester Road Milton Malsor Northampton NN4 9RN

Milton Edge a beautifully presented bungalows that enjoys a secluded position on a private road with ample parking and views towards fields to the front of the property. With 3/4 bedrooms, lounge, dining area and kitchen , integral garage , three bedrooms and family bathroom.



# Towcester Road Milton Malsor Northampton NN4 9RN

## Entrance Proch

Door and complimentary opaque double glazed window to front elevation. Further door to hallway.

## Entrance Hall

Doors lead off to cloakroom, lounge and bedroom. Wall mounted radiator and courtesy door to the rear garden.

## Lounge

19' 4" x 11' ( 5.89m x 3.35m )

Double glazed window to front elevation. Feature fireplace, wall mounted radiator and TV point. Coving to ceiling , bi-fold doors to the rear elevation and archway to dining area.

## Kitchen Area

12' 6" max x 9' 8" ( 3.81m max x 2.95m )

Double glazed window to the rear elevation, wall mounted radiator, archway to kitchen and door leading off to second hallway.

## Hallway

Doors leading off to three bedrooms, family bathroom and dining area. Storage cupboard, access to loft space.

## Bedroom One

10' 10" x 9' 8" ( 3.30m x 2.95m )

Double glazed window to front elevation and wall mounted radiator.

## Bedroom Two

10' 10" max x 9' 8" max ( 3.30m max x 2.95m max )

Double glazed window to rear elevation and wall mounted radiator.

## Bedroom Three

9' 8" x 8' 4" ( 2.95m x 2.54m )

Double glazed window to front elevation and wall mounted radiator.

## Study/Bedroom Four

9' 8" x 8' 6" ( 2.95m x 2.59m )

Double glazed window to the rear elevation and wall mounted radiator.

## Bathroom

Suite comprising double shower cubicle, low level flush w.c and pedestal wash hand basin. Tiled. Two double glazed windows to the rear elevation.



## Outside

### Front Garden

Low maintenance garden, laid to gravel and offering off road parking.

### Rear Garden

Fully enclosed garden, large lawned area, and mature plants and shrubs. Patio area which is ideal for entertaining.

### Garage

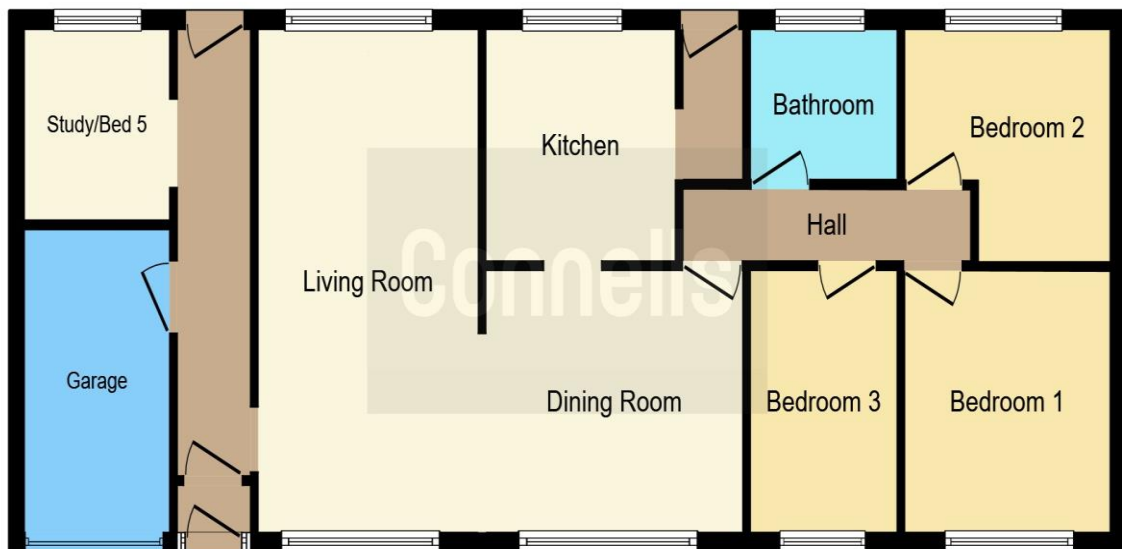
Double door open outwards, and further door leading to hallway.

### Council Tax Band

B.







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Tenure: Freehold EPC Rating: C

Council Tax Band: B

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