







# Charles Clowes Walk, , London, SW11 7AG

- 3 Bedroom Apartment
- 2 Bathrooms
- Available Furnished & Unfurnished
- Underground Secure Parking | Bike Storage
- 24-Hour Emergency Helpline | Lift Service

- 8th Floor
- Internal area: 1123 sq ft
- On-site Gym | Cinema Media Room | Board Room
- On-Site Building Manager | CCTV
- Interior Designed | Private Balconies



# £7,735 Per Month

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## **DESCRIPTION**

Nestled in the vibrant area of Charles Clowes Walk, London, this modern apartment offers a perfect blend of comfort and contemporary living. Spanning an impressive 1,119 square feet, the property boasts a well-designed layout that maximises space and light.

Upon entering, you are greeted by a spacious reception room, ideal for both relaxation and entertaining guests. The apartment features two generously sized bedrooms, providing ample space for rest and privacy. Each bedroom is complemented by its own bathroom, ensuring convenience and comfort for residents and visitors alike.

Constructed in 2018, this property benefits from modern fixtures and fittings, making it a desirable choice for those seeking a stylish home in a bustling city. The contemporary design and thoughtful layout create an inviting atmosphere, perfect for both individuals and families.

Charles Clowes Walk is well-connected, offering easy access to local amenities, transport links, and the vibrant culture that London has to offer. This apartment is not just a place to live; it is a lifestyle choice that combines modern living with the excitement of city life.

Whether you are looking to buy or rent, this property presents an excellent opportunity to secure a home in one of London's sought-after locations. Don't miss the chance to make this stunning apartment your own.











### Viewings

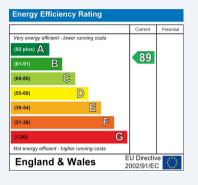
Please contact towerbridge@hunters.com,if you wish to arrange a viewing appointment for this property or require further information.

#### **Valuations**

For a valuation of your property, please email the team with your property details, contact information and the times you are available.

# ENERGY PERFORMANCE CERTIFICATE

The energy efficiency rating is a measure of the overall efficacy of a home. The higher the rating the more energy efficient the home is and the lower the fuel bills will be.



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate.

THINKING OF SELLING? If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.



