



Edmunds Close, High Wycombe, Buckinghamshire, HP12 4ES

A well-presented three-bedroom terraced property in a quiet cul-de-sac to the South West of High Wycombe.

| Well Presented Terraced Home | Quiet Cul-De-Sac Location | Porch | Entrance Hall | Cloakroom | Living Room | Kitchen | Three Bedrooms | Bathroom with Separate Shower Cubicle | Double Glazing | Gas Radiator Heating | Front and Rear Gardens | Garage in a Nearby Block | No onward Chain |

A well-presented terraced property in a quiet cul-de-sac location to the South West of High Wycombe. Within convenient access to the town centre and M40 at J4, the accommodation briefly comprises; porch, entrance hall, cloakroom, living room, kitchen, three bedrooms, bathroom with separate shower cubicle, double glazing, gas radiator heating, front and rear gardens, garage in a nearby block. Offered to the market with no onward chain.



Price... £365,000

Freehold

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92+) A		
(81-91) B		86
(69-80) C		
(55-68) D	70	
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	
WWW.EPC4U.COM		



LOCATION

The property is situated in a quiet walkway position in a no through road location. There are a variety of local convenience stores close by which cater for most day to day needs and a number of much larger supermarkets also within easy reach. Public transport runs close by and the M40 motorway at Junction 4 is just a 5-minute drive away. The town centre is also easily accessible and approximately one and a half miles away and provides a comprehensive range of facilities.



DIRECTIONS

Leave High Wycombe on the A40 West Wycombe Road and continue for approximately three quarters of a mile turning left just before the second set of traffic lights into Mill End Road. Proceed to the end and bear left at both mini roundabouts into New Road. Ascend the hill taking the fifth turning on the right into Bookerhill Road (second entrance). Then take the first turning on the right into Edmunds Close. Number 15 can be found towards the end on the right-hand side.



ADDITIONAL INFORMATION

COUNCIL TAX

Band C

EPC RATING

C

MORTGAGE

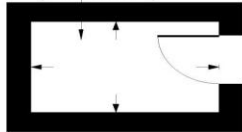
Contact your local Wye Residential office who can introduce you to their Independent Financial Adviser



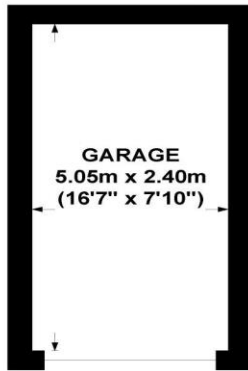
Whilst we endeavour to make our sales details accurate and reliable they should not be relied upon as statements of representation of fact and do not constitute any part of an offer or contract.



SHED
2.30m x 1.40m
(7'7" x 4'7")

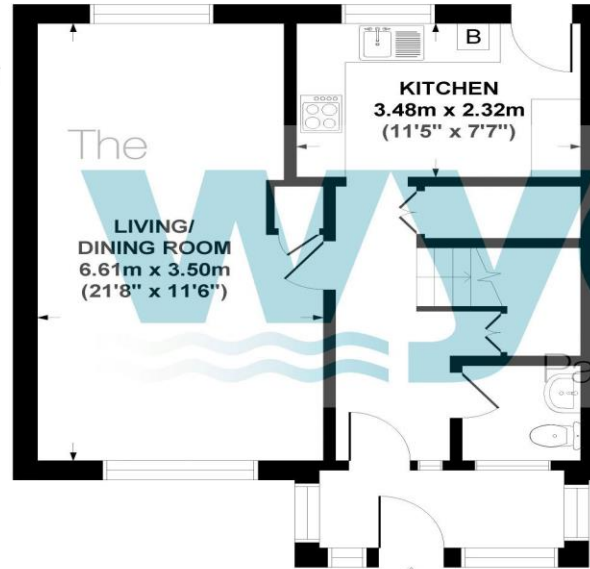


OUTBUILDING
GROSS INTERNAL
FLOOR AREA 3 SQ M / 35 SQ FT



GARAGE
5.05m x 2.40m
(16'7" x 7'10")

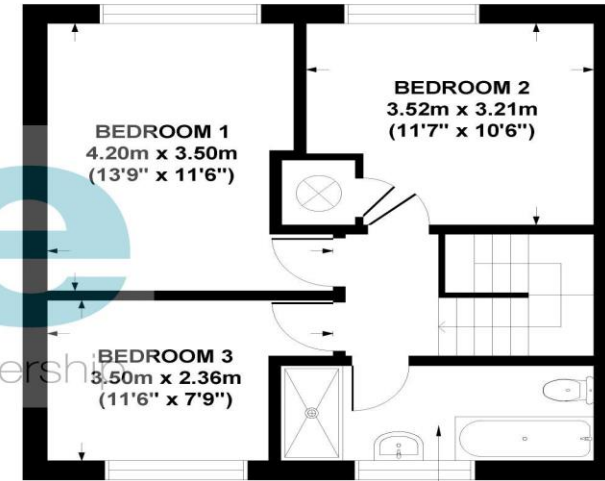
GARAGE
GROSS INTERNAL
FLOOR AREA 12 SQ M / 130 SQ FT



**LIVING/
DINING ROOM**
6.61m x 3.50m
(21'8" x 11'6")

KITCHEN
3.48m x 2.32m
(11'5" x 7'7")

GROUND FLOOR
GROSS INTERNAL
FLOOR AREA 49 SQ M / 527 SQ FT



BEDROOM 1
4.20m x 3.50m
(13'9" x 11'6")

BEDROOM 2
3.52m x 3.21m
(11'7" x 10'6")

BEDROOM 3
3.50m x 2.36m
(11'6" x 7'9")

BATHROOM
3.84m x 1.43m
(12'7" x 4'8")

FIRST FLOOR
GROSS INTERNAL
FLOOR AREA 45 SQ M / 487 SQ FT

EDMUNDS CLOSE, HIGH WYCOMBE, HP12 4ES
APPROX. GROSS INTERNAL FLOOR AREA 109 SQ M / 1179 SQ FT

FLOOR PLAN IDENTIFICATION PURPOSES ONLY -NOT TO SCALE

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The **wye** Partnership