



PORTLAND HOUSE, NORTHFIELD END

PORTLAND HOUSE



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*"Handsome detached family home in
central Henley-on-Thames"*

Portland House is a stylish Grade II listed, 5 bedroom detached house with a gated driveway set in beautiful grounds within a short level walk of central Henley and the Phyllis Court Club.





PORTLAND HOUSE

THE PROPERTY

Beautifully updated and cherished by its owners for over two decades, this stylish and private home lies within easy reach of central Henley-on-Thames.

Daily access is via a gated courtyard leading to a home office and a family entrance through a large coat and boot room with underfloor heating. The hand-built kitchen with integrated appliances and an AGA forms the heart of the house, flowing through to a dining room, utility, and cellar. A vaulted sitting room with a wood-burning stove overlooks the garden, complemented by a cosy snug and a self-contained office with its own entrance and cloakroom. Upstairs, the principal suite features a bathroom and dressing room, with four additional bedrooms and a family bathroom completing the layout.





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OUTSIDE

Portland House is approached from The Fairmile through automated gates into a covered parking area. The landscaped garden surrounds the house on three sides, with a stone terrace, level lawn, and mature planting providing privacy. Discreet BOSE speakers link to the house music system, creating an ideal setting for entertaining.



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LOCATION

Henley-on-Thames is a picturesque riverside town famed for its charm and the Royal Regatta. It offers excellent schools, including Trinity, Badgemore, Gillotts, Rupert House, and St Mary's. Surrounded by the Chiltern Hills Area of Outstanding Natural Beauty, Henley enjoys superb walking and convenient links to London.



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PROPERTY INFORMATION

Services

All mains services connected

Local Authority
South Oxfordshire

Council Tax
Band G

EPC
EPC D (61) Potential (78)

Postcode
RG9 2JJ

What3Words
///risen.goodbyes.crowds

Viewings
By prior appointment with
Robinson Sherston

Sales Disclaimer

IMPORTANT NOTICE: Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or that any services, appliances, equipment, or facilities are in good working order. Measurements and distances referred to are given as a guide only whilst descriptions of the property are subjective and are used in good faith as an opinion and not as a statement of fact. Purchasers must satisfy themselves by inspection or otherwise on such matters prior to purchase.

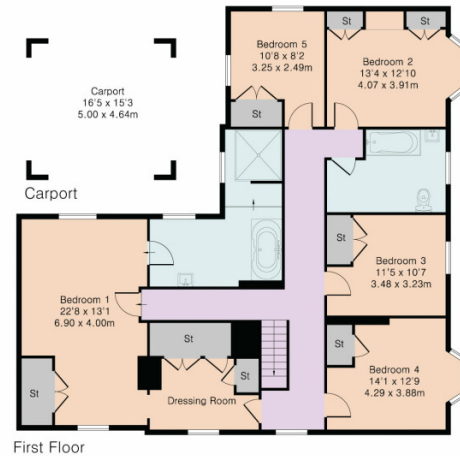


Approximate Gross Internal Area 3343 sq ft - 311 sq m

Cellar Area 141 sq ft – 13 sq m

Ground Floor Area 1753 sq ft – 163 sq m

First Floor Area 1449 sq ft – 135 sq m





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