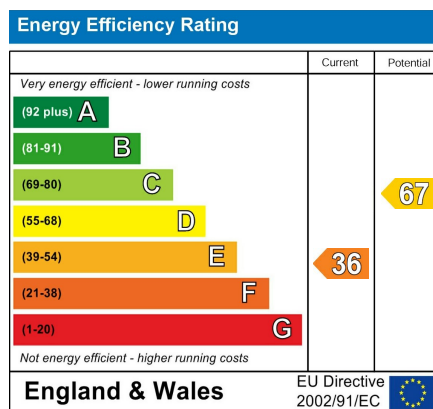


Yewden Manor, Hambleden, Henley-on-Thames RG9 6RJ  
Gross Internal Area (Approx.)  
3 Yewden Manor = 446 sq m / 4,800 sq ft  
Garage = 35 sq m / 376 sq ft  
Total Area = 481 sq m / 5,176 sq ft



3 Yewden Manor

Important Notice: This plan is not to scale (unless specified), is for guidance only and must not be relied upon as a statement of fact. All measurements and areas are approximate only (and have been prepared in accordance with the current edition of the RICS Code of Measuring Practice). Please read the Important Notice on the last page of text of the particulars. © Capture Property Marketing 2023.



£1,695,000

Mill End, Hambleden

Prominent part of the grade II listed Yewden Manor, located at the foot of the Hambleden valley, close to the river Thames.

- Grade II Listed Manor House
- 16th Century Origins
- 4,800 SQ FT
- 3 Reception Rooms
- 6 Bedrooms, 5 Bathrooms
- 0.75 Acre Grounds
- Edge of Hambleden Valley
- Close to Hambleden Lock

Prominent part of Yewden Manor, located at the foot of the Hambleden Valley

- Henley 3 miles
- Marlow 4.5 miles
- Oxford 26 miles
- High Wycombe 10 miles
- London 42 miles
- Heathrow 24 miles





## Description

The Grade II listed Yewden Manor, dating back to the 16th century, is now divided into four homes, with number 3 retaining much of the original manor's charm.

Spanning three floors and 4,800 sq ft, it offers six bedrooms, five bathrooms, and features many original details, including wood panelling, open fireplaces, and high ceilings, creating a bright, airy atmosphere.

The spacious drawing room boasts high ceilings, wood floors, painted panelled walls, a marble-surround fireplace, and a bay window with garden access. The dining room, with stone flooring and a brick fireplace, opens to a study area and leads down to a large kitchen/breakfast room featuring a central island, double ovens, and built-in appliances. A separate dual-aspect family room is also on the ground floor.

The first floor includes the principal bedroom with a bay window and en suite bathroom, a guest bedroom with an en suite shower, two additional bedrooms, and a shower room. Two more bedrooms are located on the second floor, interconnecting via separate stairs.

Outside, a shared gravel drive leads to a landscaped parking area, with an arched gateway opening to a charming courtyard. A west-facing terrace accessed from the drawing room overlooks the grounds, which are primarily lawn with mature trees and shrubs, along with a secluded Yew Tree walk for added privacy. A detached double garage is situated at the rear.

## Location

Mill End is a small hamlet nestled between Henley-on-Thames (4 miles) and Marlow (5 miles). Henley is home to the annual Royal Regatta and the Henley Music and Arts Festival, along with many boutique shops, pubs, restaurants, a 3-screen cinema, and the historic Kenton Theatre, founded in 1805.

Excellent schooling options include Rupert House, St Mary's, Moultsford,



Cranford House, Shiplake College, Queen Anne's, and shuttle links to Lambrook. Commuter links are excellent, with trains from Henley station reaching London Paddington in 43 minutes, or from Twyford station in around 25 minutes, with The Elizabeth Line further enhancing cross-city travel. The M4 is easily accessible via junction 8/9, providing fast links to the M25, M40, Heathrow Airport, and the West Country.

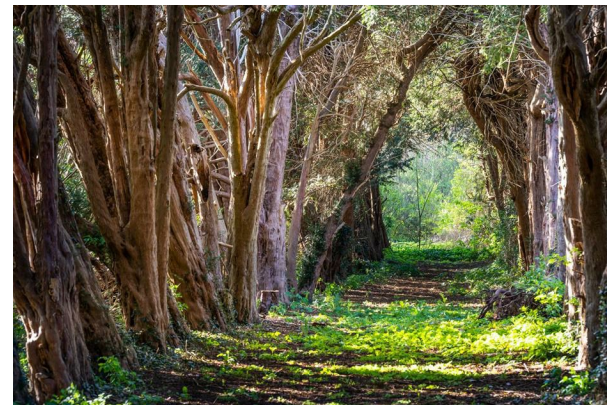
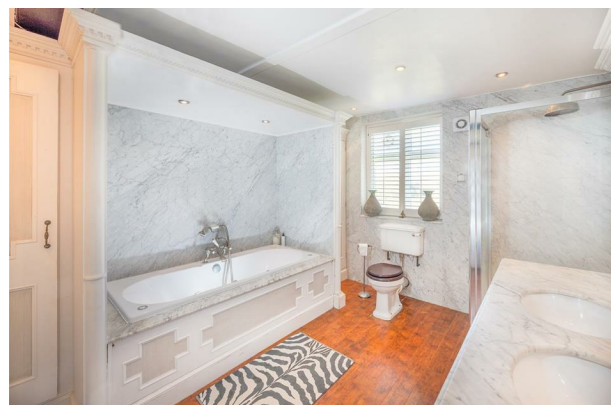
## Directions

Postcode: RG9 6RJ

what3words:///display.wooden.passports

## Viewings

Viewing by prior appointment with Robinson Sherston Henley office.



Tel: 01491 411911  
Email: [henley@robinsonsherston.co.uk](mailto:henley@robinsonsherston.co.uk)

## Sales Disclaimer

*IMPORTANT NOTICE: Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or that any services, appliances, equipment, or facilities are in good working order. Measurements and distances referred to are given as a guide only whilst descriptions of the property are subjective and are used in good faith as an opinion and not as a statement of fact. Purchasers must satisfy themselves by inspection or otherwise on such matters prior to purchase.*