

JOHN BRAY & SONS

Fairlawn Belmont Road
, Hastings, TN35 5NR

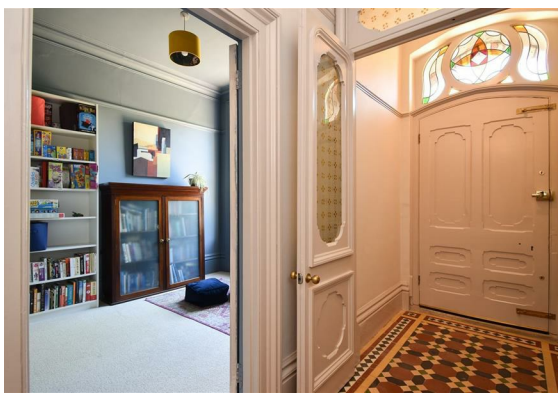
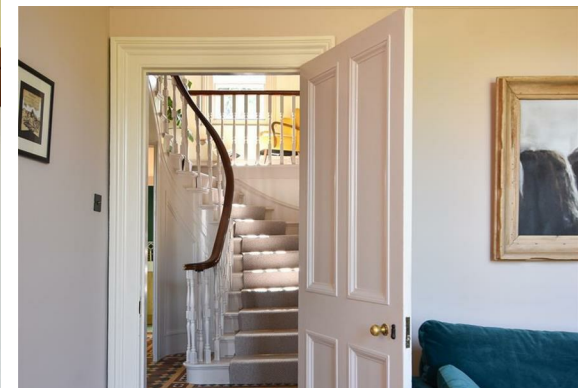
£3,250 Per Calendar Month

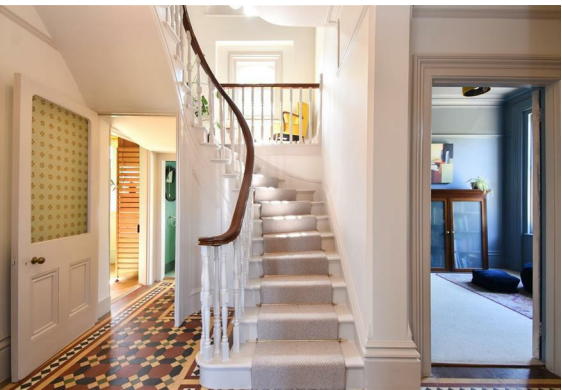


Fairlawn Belmont Road

, Hastings, TN35 5NR

The property: an idyllic Victorian detached home positioned within generous wrap around gardens and accessed via double gates on Belmont Road with ample off-road parking and a detached double garage. The accommodation is beautifully presented throughout and showcases a wealth of original features including a large stained-glass feature window, high ceilings, and original shutters throughout the ground floor. This five-bedroom family home is arranged over four floors. The ground floor comprises a charming living room with a tiled open fireplace, overlooking the lawn and a large dual-aspect kitchen and dining space, separate utility room providing additional storage space and plumbing for utilities, and there is a downstairs cloakroom with a bespoke vanity. The open plan kitchen offers plenty of room for a dining table and a contrasting central island/breakfast bar with an inset sink and a Quooker hot water tap and wood-burning stove. The kitchen leads through to the sunroom, positioned at the rear of the property, enjoying bi-folding doors opening to a terrace—an idyllic spot to dine al-fresco. There is also an additional reception room with a marble fireplace currently used as a study. The welcoming entrance hall has original tiled flooring and a staircase that curves up to the first floor.





Basement
253.14 sq. ft. (23.41 sq. m.) approx.

Ground Floor
253.14 sq. ft. (23.41 sq. m.) approx.

1st Floor
253.14 sq. ft. (23.41 sq. m.) approx.

2nd Floor
253.14 sq. ft. (23.41 sq. m.) approx.

Basement: CELLAR 35'4" x 15'4" 3.0m x 1.4m, CELLAR, CELLAR.

Ground Floor: PORCH, ENTRANCE HALL, RECEPTION ROOM 15'0" x 12'5" 4.5m x 3.8m, OPEN PLAN LIVING SPACE & KITCHEN 34'9" x 34'5" max 10.6m x 4.5m max, STUDY 11'2" x 9'7" 3.4m x 2.9m, WC, UTILITY ROOM 8'0" x 7'0" 2.4m x 2.2m, SUN ROOM 15'7" x 8'5" 3.5m x 2.6m.

1st Floor: BEDROOM 13'5" x 11'5" 4.0m x 3.5m, BEDROOM 19'7" x 15'7" 5.9m x 4.7m, BATHROOM, TERRACE, GALLERIED LANDING, BEDROOM 11'5" x 9'10" 3.5m x 2.9m, BEDROOM 15'5" x 15'7" 4.8m x 4.8m, HALF LANDING, ENCLAVE.

2nd Floor: BEDROOM 25'1" x 15'2" 8.7m x 4.6m, BALCONY.

TOTAL FLOOR AREA: 2886 sq.ft. (268.1 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Please contact our John Bray Hastings Sales Office on 01424 421544
if you wish to arrange a viewing appointment for this property or require further information.

72 High Street, Hasting, East Sussex, TN34 3EL
Tel: 01424 421544 Email: enquiries@johnbrayandsons.com www.johnbrayandsons.com

A map of the Harold Road Surgery area in London. The map shows a network of roads including Old London Rd, Godwin Rd, Edmund Rd, Harold Rd, Priory Rd, Bembrook Rd, Croft Rd, High St, The Bourne, and All Saints' St. Key landmarks marked include Dudley Infant Academy, Harold Road Surgery (with a red cross icon), Ecclesbourne Glen (with a green tree icon), and East Hill. A blue line represents a river or canal running along the bottom right. The Google logo is in the bottom left corner, and 'Map data ©2025' is in the bottom right corner.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E		60	76
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	