



Rayners Road, SW15

GARDINER
RESIDENTIAL

Rayners Road, SW15

- * Penthouse * Two Double Bedroom * Interior Designed
- * Air Conditioning * Private Terrace * Lift
- * Video Entry Phone * Gas Fireplace * Underground Parking

£995,000 Leasehold



An absolutely stunning interior designed, immaculate two double bedroom penthouse apartment which benefits from a terrace with wonderful views, lift, underground parking and air conditioning.

Presented in immaculate order throughout, the property is in excess of 890 sqft and comprises entrance hall with wooden floors, video entry phone and door to utility room with the washing machine. Lovely large 26 ft. reception room with wooden floors, gas fireplace and open plan kitchen with fitted appliances and excellent storage. Doors from the kitchen and dining area open to the stunning interior designed, immaculate two double bedroom penthouse apartment which benefits from a terrace with wonderful views, lift, underground parking and air conditioning.

The property is in excess of 890 sqft and comprises entrance hall with wooden floors, video entry phone and door to utility room with the washing machine. Lovely large 26 ft. reception room with wooden floors, gas fireplace and open plan kitchen with fitted appliances and excellent storage. Doors from the kitchen and dining area open to the stunning private terrace which benefits from beautiful evening sunsets.

Double bedroom with built in wardrobes, wooden floors, contemporary en-suite shower room and doors opening to a private east facing balcony. Second double bedroom with wooden floors, en-suite bathroom and doors opening to the east facing balcony. The property comes with a designated secure underground parking space, basement storage, access to a communal ornamental water garden and concierge.



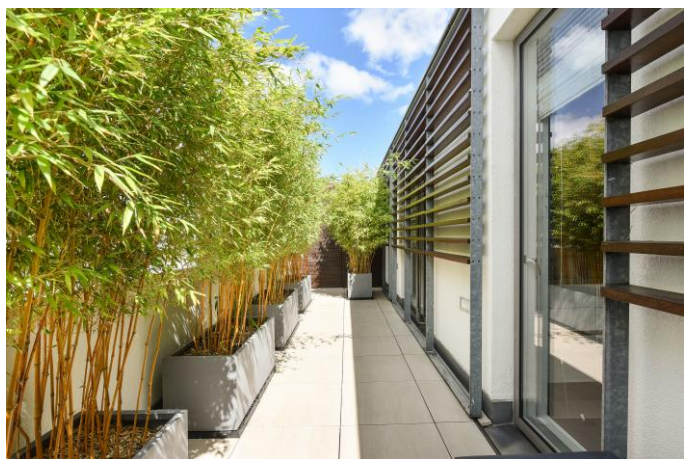
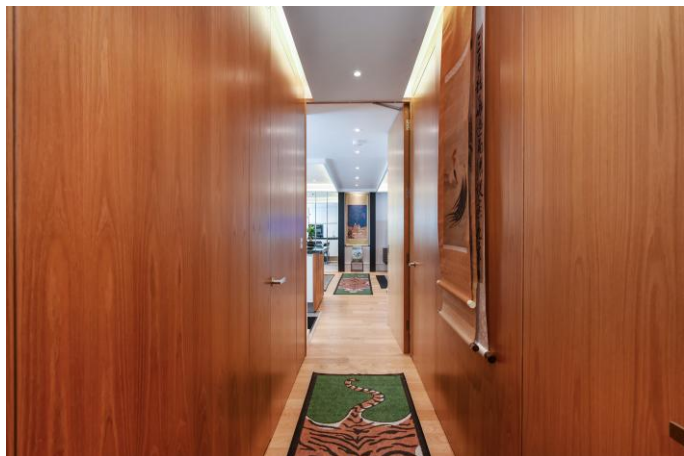
Rayners Road is a quiet residential road which is minutes' walk to both East Putney Tube and Putney British Rail Station. There is a good selection of shops and restaurants nearby along Putney High Street, access to the Thames and Putney Heath and Common. Richmond and Wimbledon Parks are also close by.

Price: £995,000

Leasehold

London Borough of Wandsworth

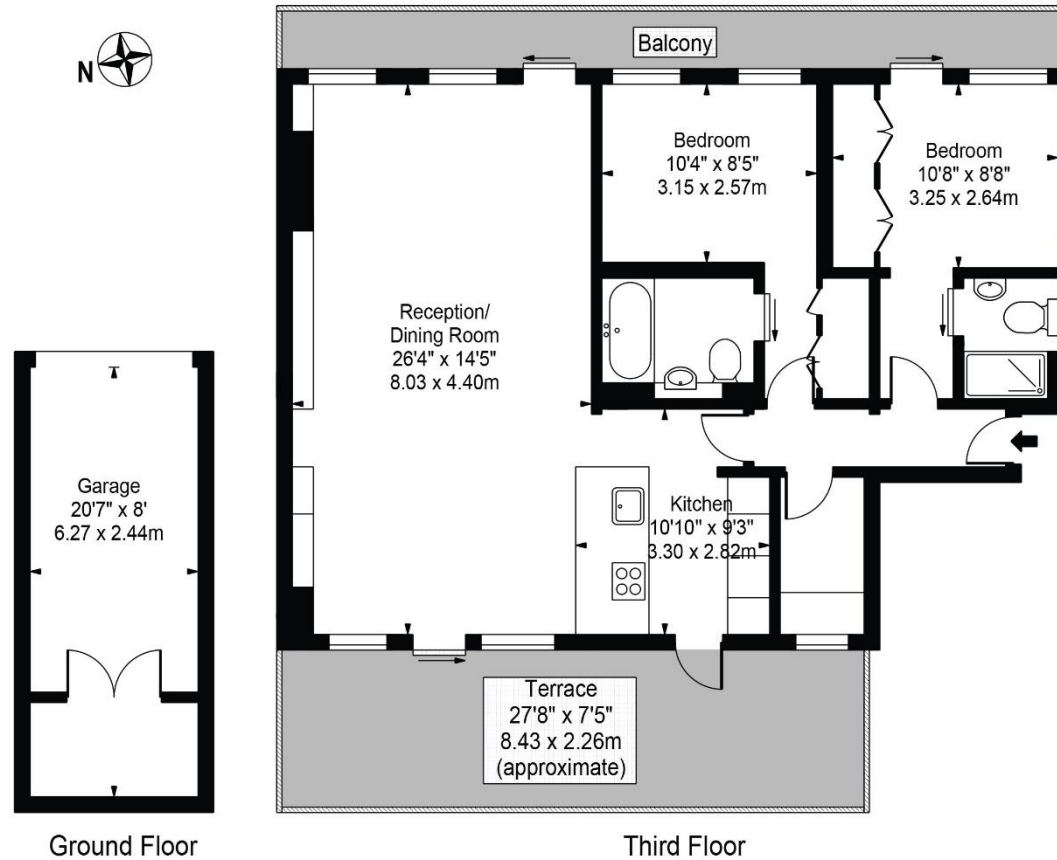
Council Tax Band: F



Rayners Road

Approx. Gross Internal Area 876 Sq Ft - 81.38 Sq M
(Excluding Garage)

Approx. Gross Internal Area Of Garage 165 Sq Ft - 15.30 Sq M



For Illustration Purposes Only - Not To Scale

This floor plan should be used as a general outline for guidance only and does not constitute in whole or in part an offer or contract. Any intending purchaser or lessee should satisfy themselves by inspection, searches, enquiries and full survey as to the correctness of each statement. Any areas, measurements or distances quoted are approximate and should not be used to value a property or be the basis of any sale or let.

Measurements Not to Scale

PROPERTY MISDESCRIPTIONS ACT 1991: The Agents has not tested any apparatus, equipment, fixtures and fittings, or services, so cannot verify that they are in working order or fit for the purpose. The buyer is advised to obtain verification from his or her Professional Buyer. References to the Tenure of the property are based on information supplied by the Vendor. The agents have not had sight of the title documents. The buyer is advised to obtain verification from their Solicitor. You are advised to check the availability of any property before travelling any distance to view.

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