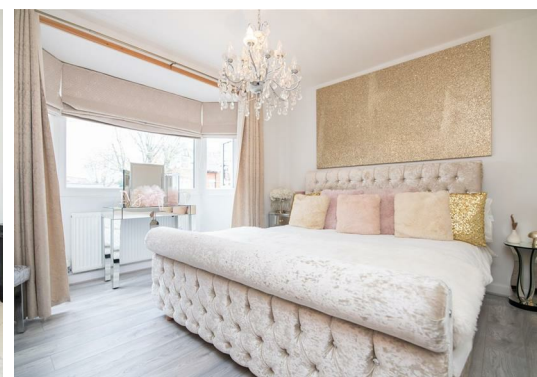




69 Victoria Road, Stechford, B33 8AL Best Offers Around £525,000

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**** NEW TO THE MARKET **** | This stunning 4 bed property offers spacious and luxurious living | Private extensive fenced rear garden with large patio area plus sauna | Secured parking with private entrance driveway | Open plan luxury kitchen with integrated appliances | large central island with additional storage | A rare opportunity to own a dream family home | Finished to high standard throughout |



Property Overview

Genie Homes is delighted to present this flawlessly maintained, generously proportioned 4 double bedroom semi-detached family residence, inviting potential buyers to discover it allure firsthand.

This exquisite residence offers expansive and opulent living space! On the ground floor Entrance porch which leads you to the inner hallway spacious open-plan kitchen ,dining and lounge area, study / Walk In wardrobe,, Utility room, shower room,, cosy front living room.

The main hub of the house is the two reception area's intertwine with the spacious modern kitchen, featuring a large central island. boasting a wide range of high shine white units and cream & grey worktops. It includes an integrated 6 gas ring hob with a downdraft extractor fan built into the island. Supreme grey aluminium patio doors lead to the large private fenced garden.

Garden is broken up into 4 sections, boasts a large block- paved patio area a perfect setting for family gatherings, especially during the summer months. Zoki sauna,grass area with a pathway leading to another paved sitting area with lattice panel fencing. rear garden with a large brick built out building, could be used for a private gym area, office or as a man cave the potential is endless.

First floor stairs and landing, 4 double bedrooms, family bathroom, patio double door in bedroom two leading to a potential roof terrace. (Note: No railings)

The property is strategically positioned away from the road in a highly sought after location, offering convenient gated off-road parking at the front for three vehicles.

Situated on a popular road in Stechford the property benefits from accessible public transport links including variety of bus services, Stechford train stans and connecting seamlessly to surrounding towns and Birmingham city centre. Easy access to junction 6 of the M6, which connects with the M5 & M1, The residence falls within a great catchment area for esteemed schools.

This well maintained property is a true gen, and a viewing is highly recommended to fully appreciate its appeal and functionality.

Entrance Hallway

Laminated flooring, wall mounted radiator, cloak room.

Living Room

12'2" x 11'6" (3.71 x 3.51)
Laminated flooring, wall mounted radiator, double glazed bay window, window security system.

Utility

9'10" x 5'10" (3.00 x 1.78)
Valant boiler,plumbing for washing machine and tumble dryer.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

Shower room

10'0" x 7'6" (3.06 x 2.31)
W/C, Wash hand basin, wet room shower, tiled floor to ceiling, double glazed obscure window.

Lounge area

13'10" x 11'10" (4.24 x 3.63)
Tiled flooring, wall mounted radiator, featured tiled wall,

Kitchen area

18'2" x 16'4" (5.56 x 4.98)
Tiled flooring, built in appliances including oven, hob, microwave, dishwasher, large central island, double glazed window & patio doors leading private fenced garden, ceiling lighting.

Dining area

20'8" x 10'0" (6.32 x 3.05)
Tiled flooring, wall mounted radiators, double glazed window, floral feature wall,

Study / Walk in wardrobe

16'0" x 8'7" (4.90 x 2.64)
Tiled flooring, wall mounted radiator, shelving, double glazed window view to the front, window security system.

Stairs / Landing

Carpet stairs to first floor, landing laminate flooring, wall mounted radiator, Large feature window.

Bedroom 1

12'2" x 11'10" (3.71 x 3.63)
Double glazed window, view to the front of the property, laminated flooring, wall mounted radiator.

Bedroom 2

15'10" x 9'1" (4.83 x 2.77)
Laminated flooring, wall mounted radiator, patio doors to roof terrace, view to front & rear.

Bedroom 3

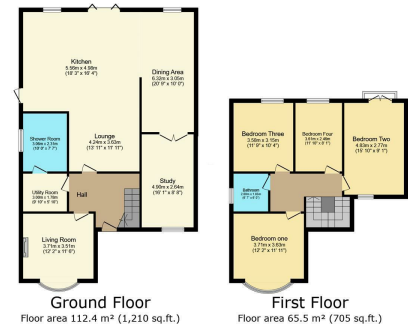
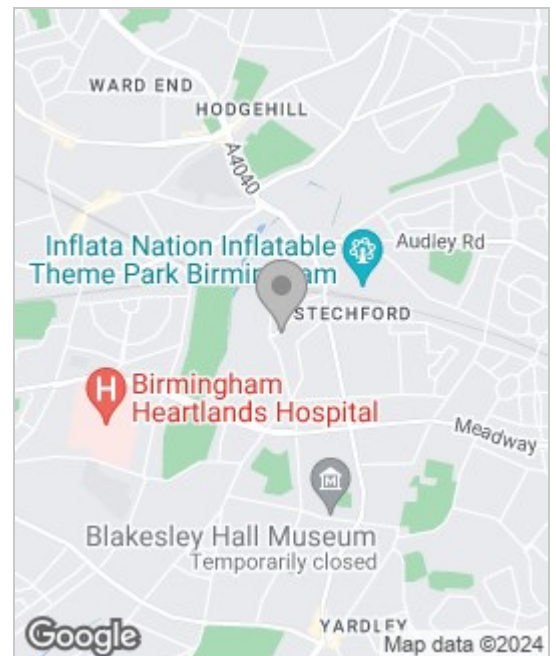
11'8" 10'4" (3.58 3.15)
Laminated flooring, double glazed window view to the rear, wall mounted radiator.

Bedroom 4

11'10" x 10'4" (3.61 x 3.15)
Laminated flooring, double glazed window view to the rear, wall mounted radiator.

First Floor Bathroom

6'7" x 163 (2.01m x 49.68m)
Walk in shower, wall to ceiling tiling, obscured double glazed window, W/C, hand wash basin.



TOTAL: 177.9 m² (1,915 sq.ft.)

This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientations are approximate. We do not warrant, guarantee, or accept liability for any errors and do not form any part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s).

| Energy Efficiency Rating | | Current | Potential |
|---|---|-------------------------|-----------|
| Very energy efficient - lower running costs | | | |
| (92 plus) | A | | |
| (81-91) | B | | 83 |
| (69-80) | C | | |
| (55-68) | D | 64 | |
| (39-54) | E | | |
| (21-38) | F | | |
| (1-20) | G | | |
| Not energy efficient - higher running costs | | | |
| England & Wales | | EU Directive 2002/91/EC | |