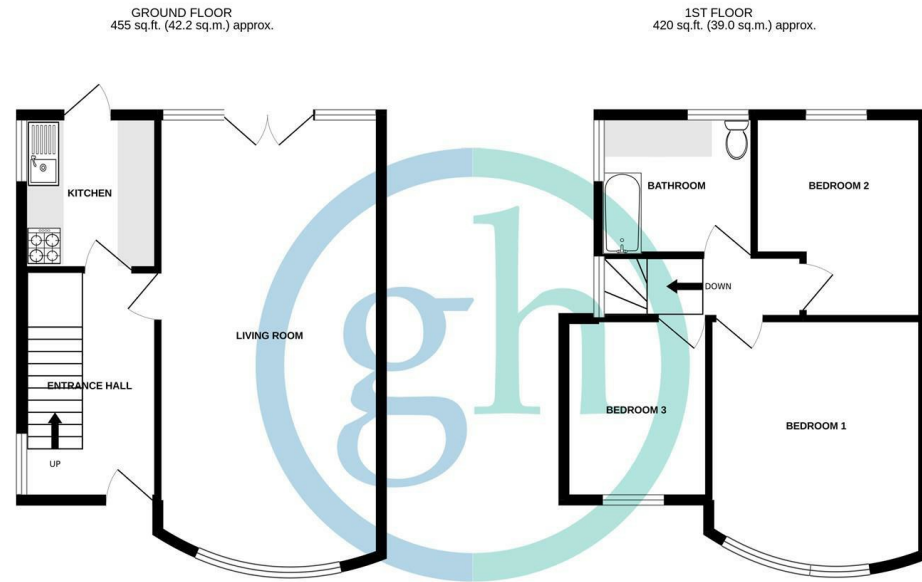




Pavilion Way, Ruislip, HA4 9JR
£2,395 Per Calendar Month

Located in this peaceful yet residential road is this STUNNING well presented, semi detached home. This family home briefly comprises : Three good size bedrooms, Large through lounge/diner, modern fitted kitchen and modern bathroom. The property benefits include :Fitted wardrobes in all bedrooms , Gas central heating, off street parking and a wonderful large rear garden. Arguably situated in one of the area's most popular roads located in the heart of Eastcote. This property is a short distance from the area's shopping and transport facilities (Metropolitan/Piccadilly/Central & Chiltern Lines). The A40 is within striking distance offering swift and easy access to both Central London and the Home Counties. The property is also ideally located within the catchment areas of the local highly regarded outstanding rated schools and is just a short stroll to the local park and local station for commuters .



TOTAL FLOOR AREA: 875 sq.ft. (81.3 sq.m.) approx.
 Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
 Made with Metroplex ©2022

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

You may download, store and use the material for your own personal use and research. You may not republish, retransmit, redistribute or otherwise make the material available to any party or make the same available on any website. These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements or representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

92 High Street, Ruislip, Middlesex, HA4 8LS
 T: 01895 625999
 lettings@gibsonhoney.co.uk
 www.gibsonhoney.co.uk

