



**Llanfair Road
Llandovery
Carmarthenshire.**

Price **£399,950**

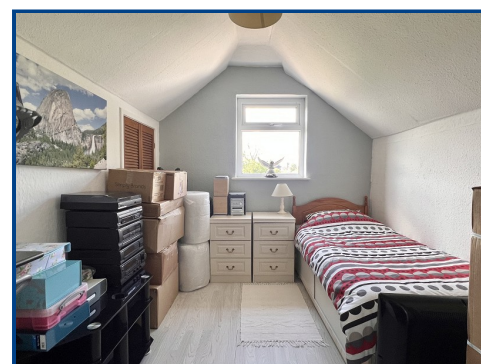


- Detached 3/4 Bedroom Family Home
- Living Room, Kitchen, Office, Utility, Shower Room & 4th Bedroom To Ground Floor
- 3 Bedrooms & En Suite To First Floor
- Set On A Spacious Plot With Gardens & Off Road Parking
- Double Garage To Rear & Ornamental Pond
- Rural Location Within Half A Mile Of Town
- No Onward Chain

General Description

A detached 3/4 bedroom property conveniently situated about half a mile to the north east of Llandovery just off the main A483 Builth road, standing back from the road with views to the front and one side in particular over open countryside.

EPC Rating: F21



Viewing: **01550 720 440**

Website: **www.ctf-uk.com**

Email: **llandovery@ctf-uk.com**

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Professional Services

Our 14 chartered surveyors based at our offices throughout South, West & Mid Wales value and survey all property types - residential, rural & commercial . If you require professional property advice when purchasing or selling a property contact the team via surveys@ctf-uk.com.

Llanfair Road, Llandovery, Carmarthenshire.

Property Description

A detached 3/4 bedroom property conveniently situated about half a mile to the north east of Llandovery just off the main A483 Bultth road, standing back from the road with views to the front and one side in particular over open countryside with the accommodation comprising; living room, kitchen, office, downstairs bedroom, shower room, utility, separate wc with 3 bedrooms and 1 en-suite to the first floor. To the front and rear of the property are lawned gardens and off road parking for several vehicles and includes a spacious double garage, shed and ornamental fish pond.

The market town of Llandovery offers good shopping facilities with variety of shops, post office, patisserie, butcher, library, newsagent, ice cream parlour, doctors surgery and cottage hospital, junior school and Llandovery College in the private sector together with a swimming pool and a supermarket on the outskirts of the town.

The accommodation comprises as follows;

Entrance Hall (12' 04" x 10' 11") or (3.76m x 3.33m)

With staircase to first floor. Step down to lobby.

Reception Room/Bedroom 4 (12' 04" x 10' 10") or (3.76m x 3.30m)

With radiator.

Office (14' 08" x 5' 11") or (4.47m x 1.80m)

With storage cupboard. Dual aspect windows. Recess lighting. Door to side.

Bathroom (9' 08" x 8' 09") or (2.95m x 2.67m)

With low level wc. Pedestal wash hand basin and cupboard. Walk in shower with Triton shower. Tiled walls. Heated towel rail.

Living Room (24' 02" x 10' 08") or (7.37m x 3.25m)

With electric fire in marble surround and mantel over. Sliding doors to rear patio. 2 radiators.

Rear Lobby (10' 01" x 7' 04") or (3.07m x 2.24m)

With storage cupboard.

Kitchen/Diner (21' 05" x 11' 08") or (6.53m x 3.56m)

With a range of floor and eye level drawers and cupboards. 2 eye level Zanussi ovens. Integral dishwasher and fridge. Stainless steel sink and drainer. Schott 4 ring induction hob with extractor over. Recess lighting. Door to rear porch.

Utility (8' 08" x 5' 01") or (2.64m x 1.55m)

With Thermecon oil boiler. Plumbing for washing machine. Radiator.

W.C.

With low level wc. Wash hand basin.

Rear Porch (10' 03" x 5' 0") or (3.12m x 1.52m)

With tiled floor and panelled ceiling.

First Floor

Landing

With storage cupboards. Recess lighting. Airing cupboard with hot water tank.

Bedroom 1 (19' 02" x 8' 08") or (5.84m x 2.64m)

With radiator.

En-Suite (8' 08" x 5' 10") or (2.64m x 1.78m)

With low level wc. Pedestal wash hand basin. Shower cubicle. Extractor fan. Radiator.

Bedroom 2 (10' 11" Max x 10' 06") or (3.33m Max x 3.20m)

Being L Shaped. Recess lighting. Radiator.

Bedroom 3 (10' 11" x 8' 07") or (3.33m x 2.62m)

With storage cupboards. Radiator.

EXTERNALLY

To the front of the property is a tarmac drive with lawned gardens leading to parking and side access to further rear parking.

At the rear of the property is a patio area with ornamental pond leading to lawned garden with double garage and further storage shed. Greenhouse.

Double Garage (28' 0" x 15' 0") or (8.53m x 4.57m)

Of block construction with corrugated roof and concrete floor. Up and over door. Electricity connected and power points.

Storage Shed (18' 04" x 15' 10") or (5.59m x 4.83m)

Located at the top of the garden of block construction and concrete floor.

Services

With mains water and electricity. Private drainage. Oil fired central heating.

Local Authorities

Carmarthenshire County Council, District Offices, 3 Spilman Street, Carmarthen, SA31 1LE. Tel: (01267) 234567.

Broadband and Mobile phone

Ultrafast broadband is available in the vicinity and the mobile phone signal in the area is deemed to be good, buyers are advised to contact their provider.

Viewing

Strictly by appointment please through the selling agents Messrs Clee Tompkinson & Francis through whom all negotiations should be conducted. Please contact our Llandovery Office (01550) 720440.

Tenure

Freehold

Council Tax

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