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**The Hideaway, Apartment 8 Laser Lane, St Leonards-On-Sea, TN37 6FJ
£325,000**

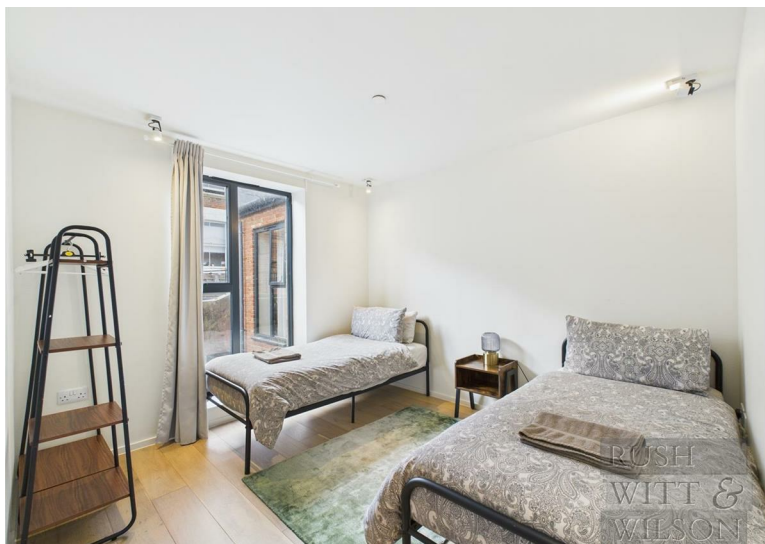
Nestled in the charming area of St Leonards-On-Sea, this delightful top-floor apartment on Laser Lane offers a perfect blend of modern living and comfort. Spanning an impressive 648 square feet, the property features two well-proportioned bedrooms, making it an ideal choice for couples, small families, or those seeking a serene retreat by the coast.

Upon entering, you are welcomed into a spacious reception room that exudes warmth and style, providing an inviting space for relaxation or entertaining guests. The modern design is complemented by an abundance of natural light, creating a bright and airy atmosphere throughout the apartment.

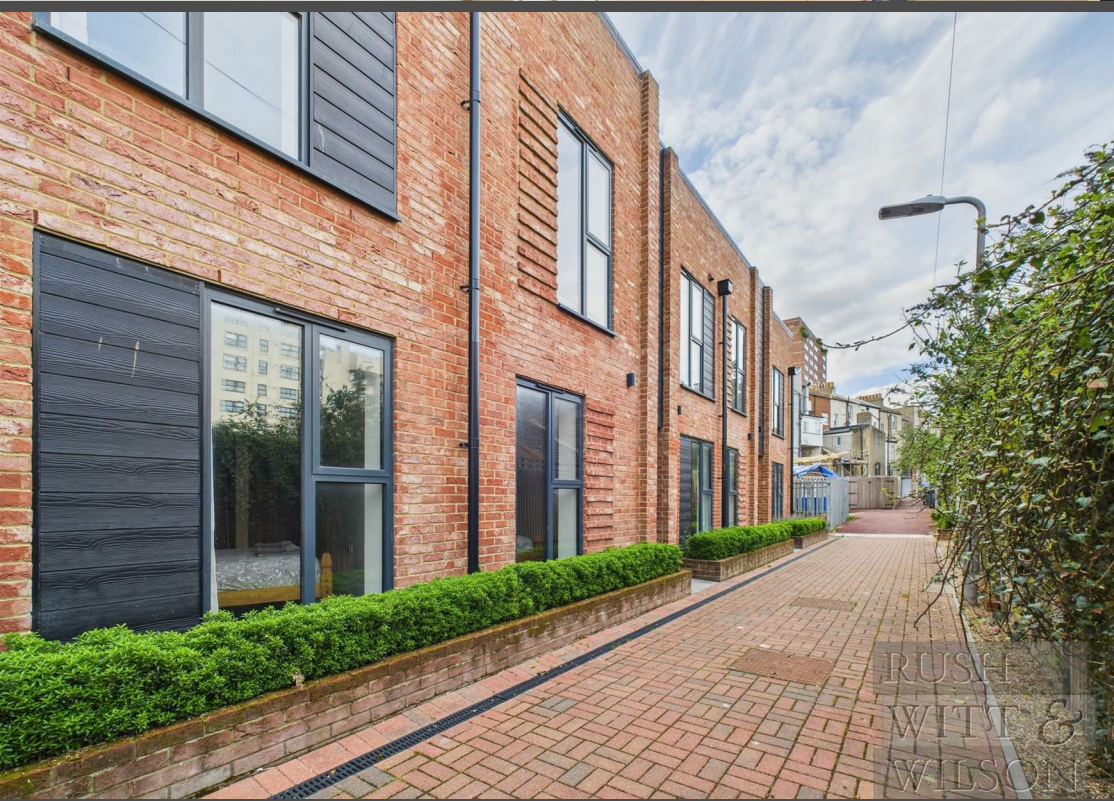
The property boasts a contemporary bathroom, thoughtfully designed to cater to your everyday needs. The highlight of this apartment is undoubtedly the charming balcony, where you can enjoy your morning coffee or unwind in the evening while taking in the pleasant views of the surrounding area.

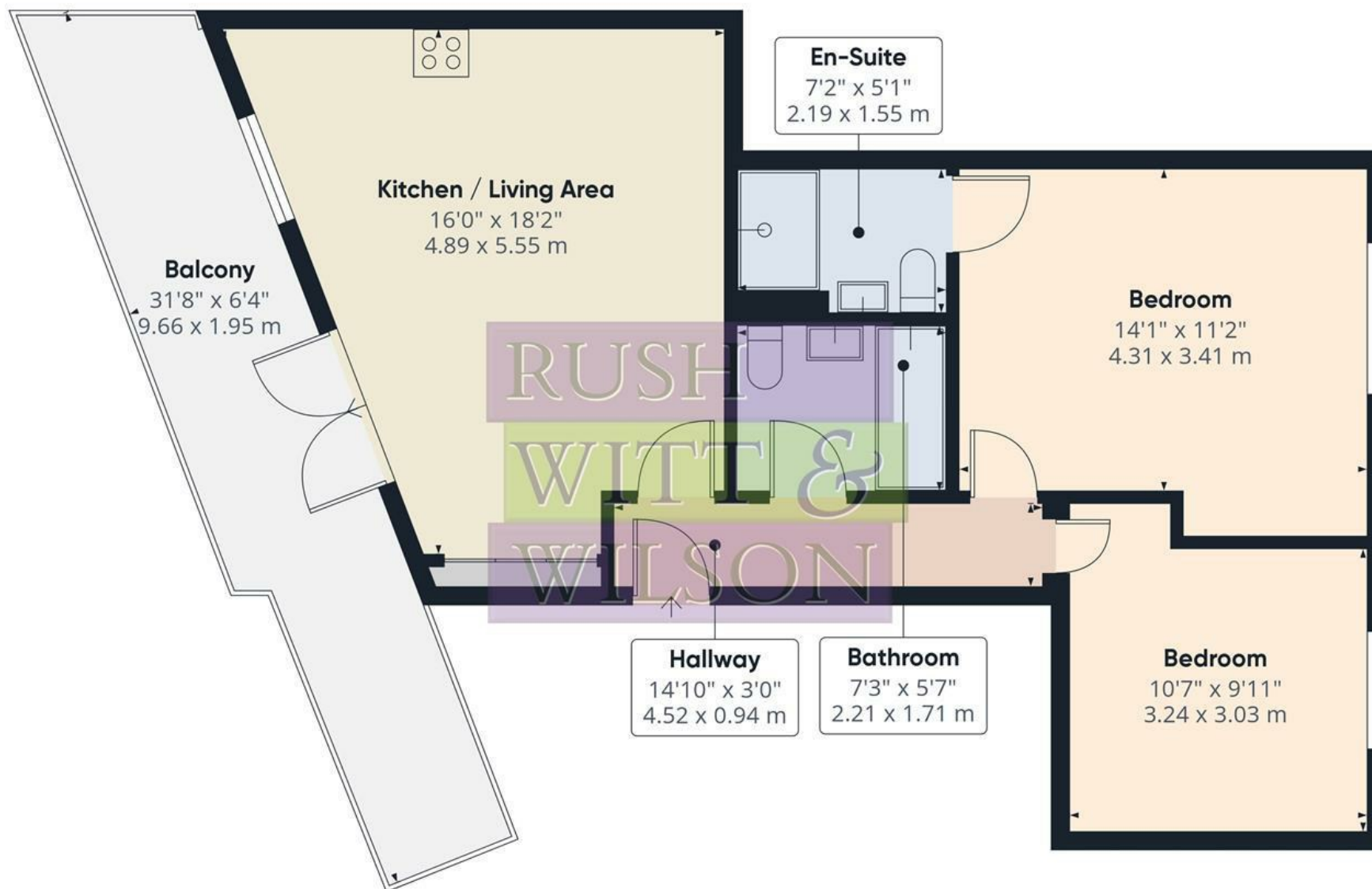
Situated in a desirable location, this apartment is conveniently close to local amenities, including shops, cafes, and the beautiful seafront, making it an excellent choice for those who appreciate the vibrant lifestyle that St Leonards-On-Sea has to offer.

In summary, this two-bedroom apartment presents a wonderful opportunity for anyone looking to embrace a modern coastal lifestyle in a sought-after location. With its appealing features and prime position, it is sure to attract interest from discerning buyers and renters alike.









Approximate total area⁽¹⁾

647.66 ft²

60.17 m²

Balconies and terraces

185.68 ft²

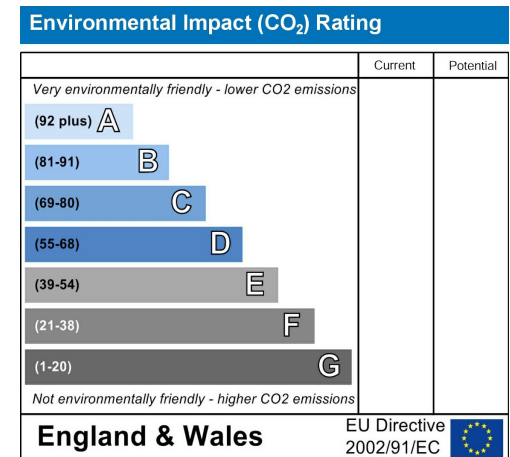
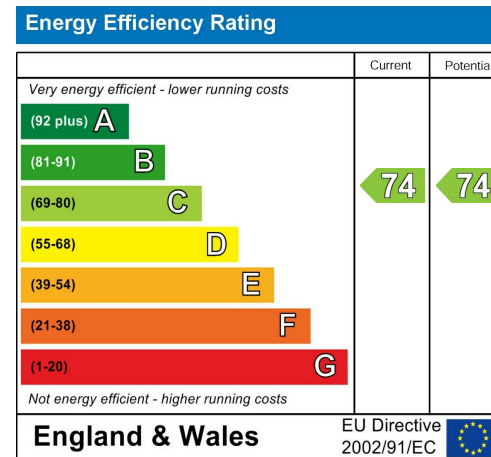
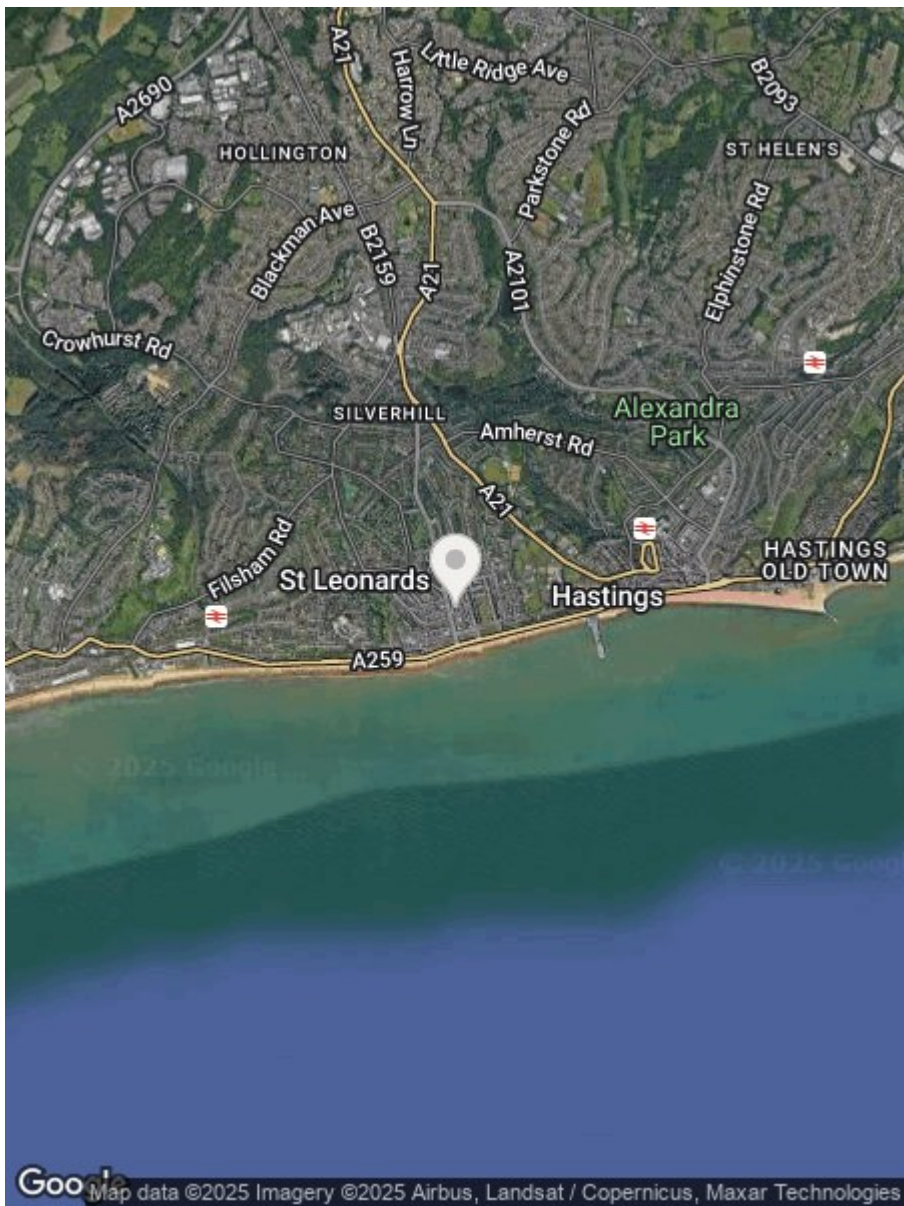
17.25 m²

(1) Excluding balconies and terraces

While every attempt has been made to ensure accuracy, all measurements are approximate, not to scale. This floor plan is for illustrative purposes only.

Calculations are based on RICS IPMS 3C standard.

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