



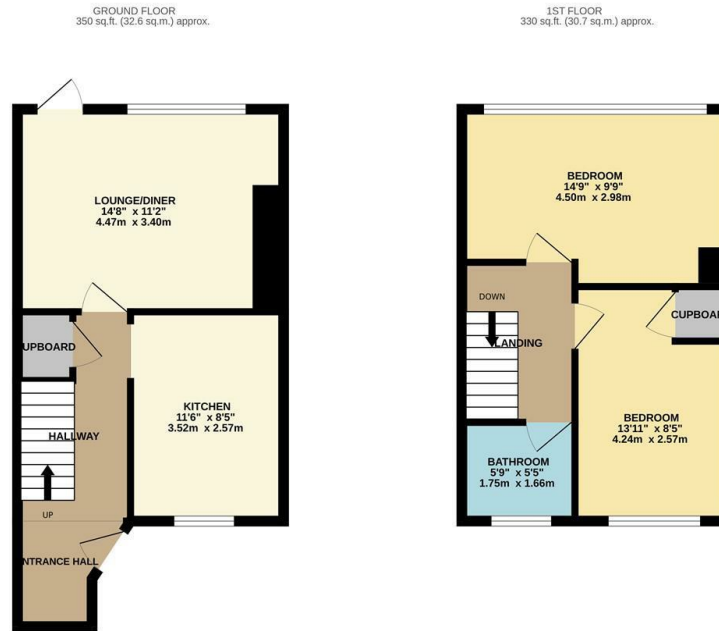
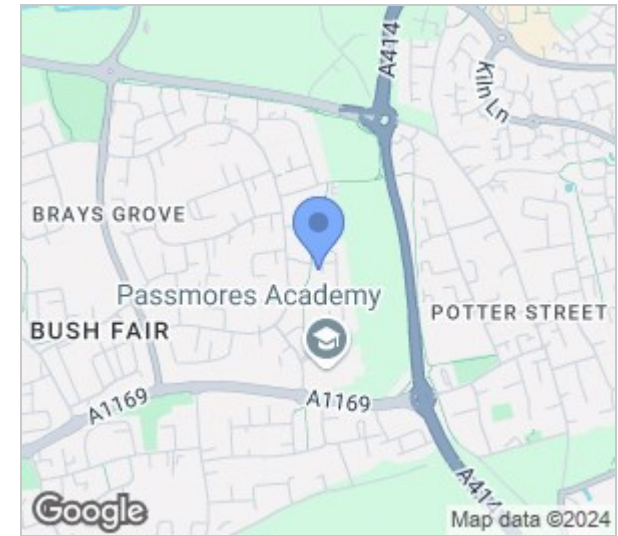
Spencers Croft, Harlow, CM18 6JR
£325,000

2 1 1 C

A set of white icons representing property features: a bed, a bathtub, a sofa, and a lightbulb. The numbers 2, 1, and 1 are placed between the icons to indicate the quantity of each feature.

Spencers Croft, Harlow, CM18 6JR

A two bedroom terraced house with a driveway. The property is found in a cul-de-sac and comprises an entrance hall leading to a lounge/diner, kitchen with a modern range of fitted wall & base level units and some integrated appliances, landing, two double bedrooms and a bathroom with a white three piece-suite. Outside the rear garden is west facing and is mostly laid to lawn with a patio area, garden shed and rear access. Spencers Croft is located close to Bush Fair which offers a range of local shops and schools nearby including the popular Passmores Academy secondary school.



REYLANDJOHNSON/SC
TOTAL FLOOR AREA: 681 sq.ft. (63.2 sq.m.) approx.
Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any errors, omissions or mis-statements. This plan is for illustrative purposes only and should be used as a guide to any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Energy Efficiency Rating		Environmental Impact (CO ₂) Rating	
Current	Potential	Current	Potential
Very energy efficient - lower running costs (92 plus) A		Very environmentally friendly - lower CO ₂ emissions (92 plus) A	
(81-91) B		(81-91) B	
(69-80) C		(69-80) C	
(55-68) D		(55-68) D	
(39-54) E		(39-54) E	
(21-38) F		(21-38) F	
(1-20) G		(1-20) G	
Not energy efficient - higher running costs		Not environmentally friendly - higher CO ₂ emissions	
England & Wales	EU Directive 2002/91/EC	England & Wales	EU Directive 2002/91/EC

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

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