

Appleton Highfield Avenue



An increasingly rare opportunity to acquire a property in a recognised area of Appleton in need of modernisation. Set back from the road and enjoying a generous plot gives the perfect chance to shape a new home to your own specification similar to a number of neighbouring properties.

The gardens deserve special mention as they have been the subject of devoted attention for a number of years. The immaculately maintained lawns is boosted by a wealth of colour to the borders and the rose garden. Privacy is also worthy of mention but not at the detriment of sun.

The accommodation is presented in its original format comprising an entrance canopy, hallway with a turning staircase to the first floor and a cloaks cupboard, lounge with a wall mounted gas fire, opening into the dining area, inner vestibule with pantry storage and a dining kitchen. The first floor offers three bedrooms, bathroom and a separate WC.

Accommodation

Ground Floor

Entrance Canopy

Entrance Hallway

11'11" x 8'5" (3.64 x 2.57m)

Accessed through a timber front door with a frosted glazed adjacent panel, turning staircase ascending to the first floor, cloaks cupboard, ceiling coving, understairs cupboard housing the electricity meter and consumer unit, frosted glazed window to the side elevation and an electric storage heater.

Lounge

15'11" x 10'11" (4.86m x 3.33m)

Wall mounted gas fire with a tile inset and raised hearth, ceiling coving, PVC double glazed window to the rear elevation, electric storage heater and an opening to the:

Dining Area

11'10" x 8'5" (3.62m x 2.58m)

Ceiling coving and a PVC double glazed window to the front elevation.

Inner Vestibule

7'11" x 2'11" (2.42m x 0.91m)

Located between the entrance hall and the dining kitchen featuring a pantry cupboard, frosted glazed door to the side elevation, understairs storage with lighting, shelving and a frosted glazed window to the side elevation.



Bathroom

7'8" x 4'10" (2.34m x 1.49m)

Panelled bath with a 'Triton T80' shower above, pedestal wash hand basin and a airing cupboard. Part tiled walls, chrome ladder heated towel rail and a PVC frosted double glazed window to the rear elevation.

WC.

4'3" x 4'3" (1.32m x 1.31m)

Low level WC. and a PVC frosted double glazed window to the rear elevation.

Covered Side Passage

13'5" x 3'7" (4.09m x 1.11m)

Accessed from the side door from the house providing access to the front, rear and garage.

Garage

16'6" x 7'11" (5.05m x 2.43m)

Twin doors providing access from the front and a 'Belfast' sink with a cold water tap.

Outside

The rear garden boasts a westerly orientation which has been beautifully cared for, predominantly laid to lawn and full of colour with special mention of the rose garden. Offering privacy, this is an outside space one can thoroughly enjoy. In addition, there is a crazy paved patio area ideal for the hardstanding of garden furniture. The front includes an open plan lawned garden again with borders set adjacent to the driveway.

Tenure

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Council Tax

Band 'D' - £2,167.31 (2024/2025)

Local Authority

Warrington Borough Council.

Services

No tests have been made of main services, heating systems, or associated appliances. Neither has confirmation been obtained from the statutory bodies of the presence of these services. We cannot, therefore, confirm that they are in working order and any prospective purchaser is advised to obtain verification from their solicitor or surveyor.

Postcode

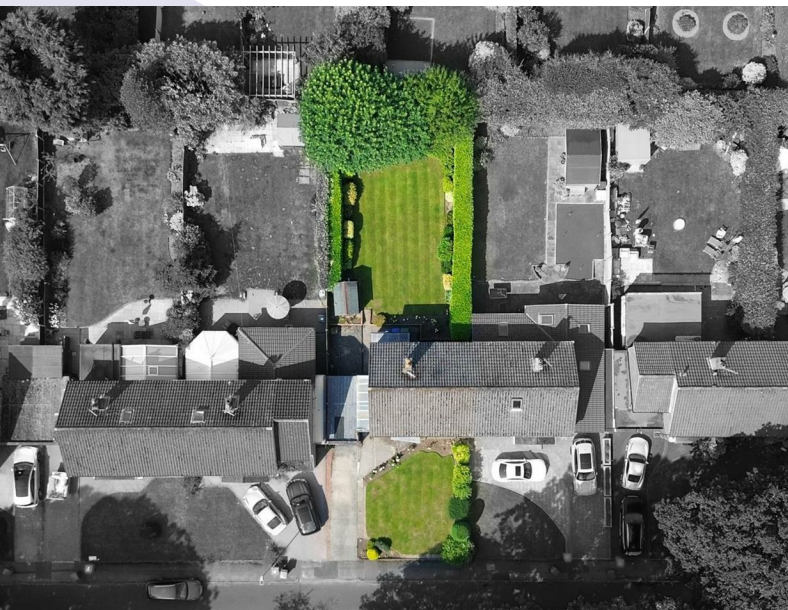
WA4 5DU

Possession

Vacant Possession upon Completion.

Viewing

Strictly by prior appointment with Cowdel Clarke, Stockton Heath. 'Video Tours' can be viewed prior to a physical viewing.



Dining Kitchen

11'6" x 7'10" (3.52m x 2.40m)

Fitted with a range of matching base, drawer and level units, stainless steel single sink, double drainer unit, further space for freestanding appliances, electric cooker point and PVC double glazed windows to both the rear and side elevations.

First Floor

Landing

11'10" x 6'2" max (3.63m x 1.90m max)

Loft access, electric storage heater and a PVC frosted double glazed window to the side elevation.

Bedroom One

12'0" x 11'11" (3.68m x 3.64m)

PVC double glazed window to the front elevation and an electric storage heater.

Bedroom Two

16'0" x 7'6" (4.88m x 2.29m)

PVC double glazed window to the rear elevation.

Bedroom Three

8'8" x 8'7" (2.65m x 2.64m)

PVC double glazed window to the front elevation and a storage cupboard.