



## ***Isham Road***

**£500,000**

*This delightful end-terrace home boasts two reception rooms, three cosy bedrooms, a well-appointed bathroom plus a conservatory and pretty rear garden.*

*Situated in a popular & central location, this lovely home offers the perfect blend of comfort and convenience. Benefits include gas central heating, double glazing and more.*

*Whether you're looking to relax in one of the two reception rooms or unwind in one of the three bedrooms, this property provides ample space for all your needs. The end-terrace layout offers a sense of privacy and tranquillity, making it an ideal retreat from the hustle and bustle of city life.*

*Don't miss out on the opportunity to make this house your home. Contact us today to arrange a viewing and experience the charm of Isham Road for yourself!*

# Isham Road

Hallway



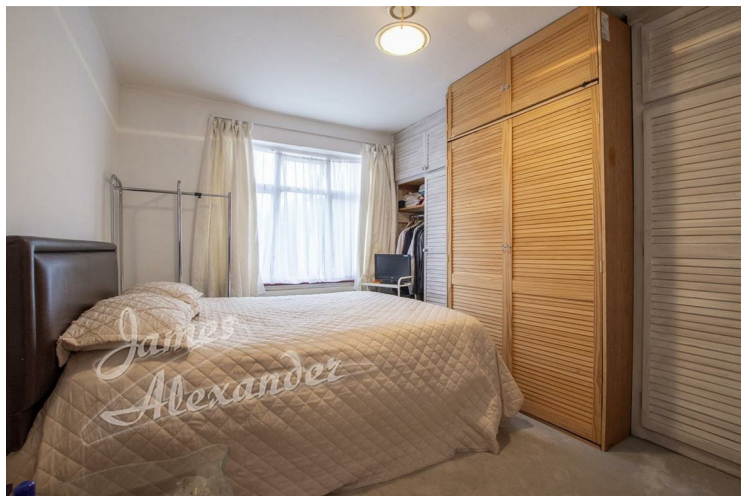
Conservatory 17'0" x 7'6" (5.20 x 2.30)



Reception 1 27'6" x 12'9" (8.40 x 3.90)



Bedroom 1 13'1" x 12'5" (4.00 x 3.80)



Kitchen 9'10" x 7'2" (3.00 x 2.20)



Bedroom 2 13'1" x 11'1" (4.00 x 3.40)



# Isham Road

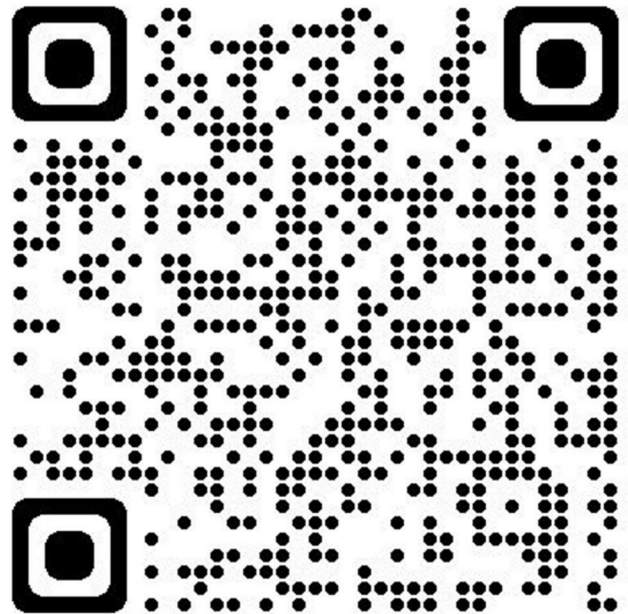
Bedroom 3 7'6" x 6'6" (2.30 x 2.00)

Garden 55'9" x 22'11" (17 x 7)



Bathroom 7'10" x 7'10" (2.40 x 2.40)

Buyers Guide



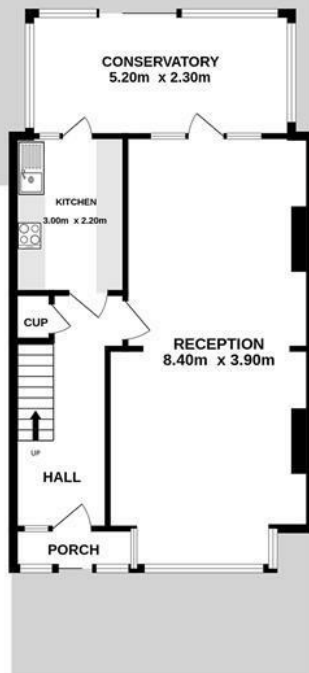
Back



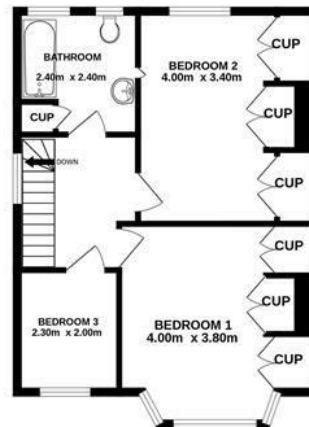
GARDEN  
(approx)  
17m x 7m



GROUND FLOOR  
670 sq.ft. (62.2 sq.m.) approx.



1ST FLOOR  
491 sq.ft. (45.6 sq.m.) approx.



TOTAL FLOOR AREA : 1161 sq.ft. (107.8 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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## Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		<b>88</b>
(81-91) <b>B</b>		
(69-80) <b>C</b>	<b>65</b>	
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

