



117 Dudwell Lane, Skircoat Green, Halifax, HX3 OSS

Offers Over £220,000

- : Highly Desirable Residential Location
- : Period 3 Bedroomed Semi Detached Family Home
- : Excellent Potential
- : Gardens, Drive & Garage
- : Realistically Priced, No Chain
- : Close To Outstanding Schools
- : Requires Refurbishment
- : Open Views To The Front
- : Easy Access To Halifax & M62
- : Viewing Recommended

117 Dudwell Lane, Halifax HX3 0SS

Situated in one of Calderdale's premier residential locations within the heart of Skircoat Green lies this three bedroomed brick built semi-detached period residence. Although the property requires fully modernising, which is reflected in the asking price, an internal inspection is absolutely essential to fully appreciate the potential this family home provides. The property briefly comprises an entrance hall, two reception rooms, kitchen, three bedrooms, bathroom, gardens, garage, uPVC double glazing. The property provides excellent access to the local amenities of Skircoat Green and Savile Park, including outstanding schools, as well as easy access to Halifax town centre and the trans-Pennine road and rail network linking the business centres of Manchester and Leeds. The property is being offered for sale at this realistic asking price in order to encourage a prompt sale and an early appointment to view is strongly recommended.



Council Tax Band: C



ENTRANCE HALL

With cornice to ceiling, delph rack, electric storage heater and a fitted carpet. Door to under the stairs cupboard housing the electric meter and useful storage facilities.

From the Entrance Hall a door opens into

LOUNGE

15'6" x 11'8"

With bay window to the front elevation incorporating uPVC double glazed units, tiled fireplace with mantelpiece and hearth and living flame electric fire. Cornice to ceiling, electric storage heater and a fitted carpet.

From the Entrance Hall a door opens to the

DINING ROOM

11'6" x 12'2"

With uPVC double glazed window to the rear elevation, period tiled fireplace to the chimney breast with mantelpiece and hearth with gas fire, cornice to ceiling and a fitted carpet.

From the Entrance Hall a sliding door opens into the

KITCHEN

8'0" x 6'1"

The kitchen does require modernising and currently has wall and base units with matching work surfaces, a stainless steel sink unit with mixer tap and electric cooker point, uPVC double glazed window to the side elevation, plumbing for a washing machine, and a side entrance door.

From the Entrance Hall a spindled staircase with fitted carpet leads to the

FIRST FLOOR LANDING

With period stained glass and leaded secondary double glazed window to the side elevation and a fitted carpet.

From the Landing a door opens to

BEDROOM TWO

12'3" x 11'7"

This second double bedroom has a uPVC double glazed window to the rear elevation and a fitted carpet.

From the Landing a door opens to

BEDROOM ONE

15'3" x 11'9"

With bay window to the front elevation incorporating uPVC double glazed units enjoying panoramic views and a fitted carpet.

From the Landing a door opens to

BEDROOM THREE

6'3" x 7'3"

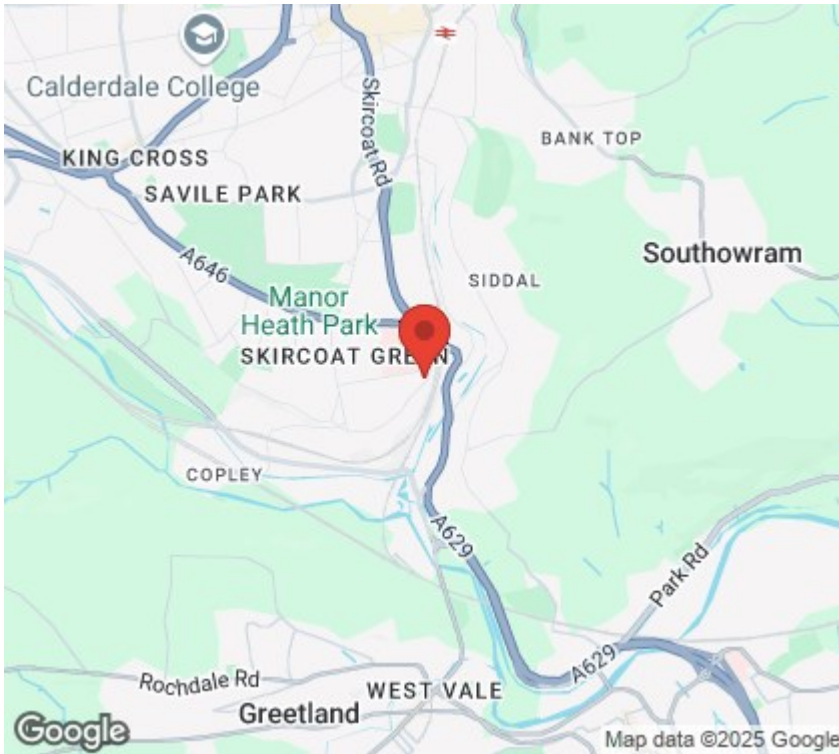
This single bedroom has a uPVC double glazed window to the front elevation enjoying panoramic views. Access to loft.

GENERAL

The property is constructed of brick and has a blue slate roof. It has the benefit of all mains services gas, water and electric with the added benefit of uPVC double glazing. The property is freehold and is in council tax band C.

EXTERNAL

To the front of the property there is a walled garden with path and steps leading to the front entrance door. There is a tarmacked drive which continues to the side of the property with parking for several vehicles and leading to the detached garage to the rear. To the rear of the property there is a brick built outhouse providing useful storage facilities and an enclosed private garden.



Directions

SAT NAV HX3 OSS

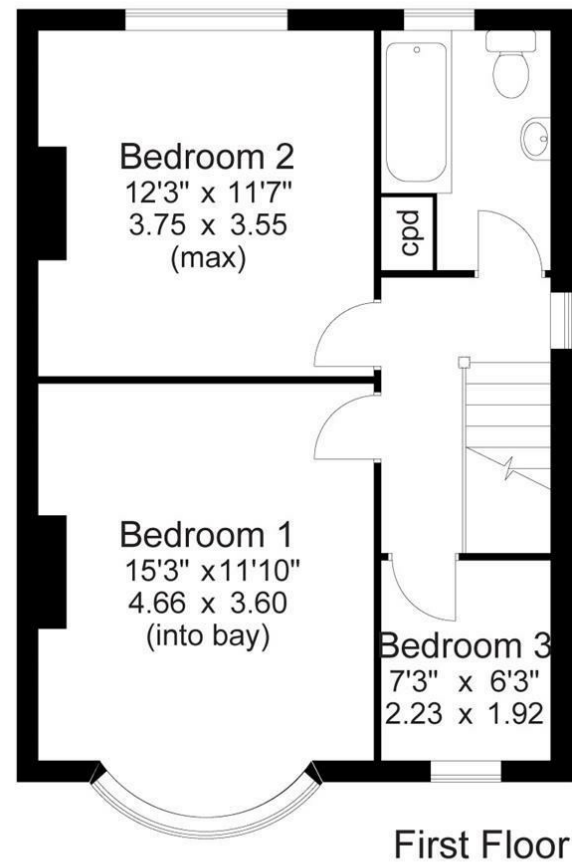
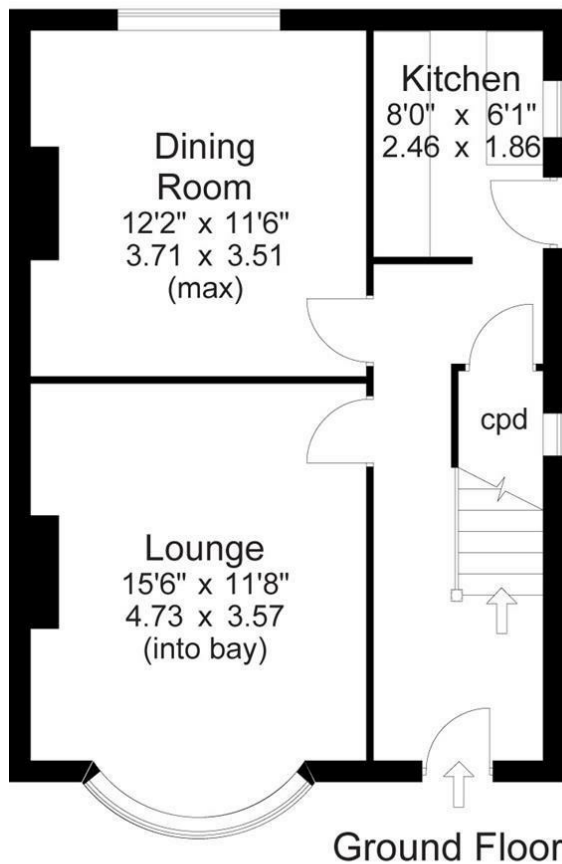
Viewings

Viewings by arrangement only. Call 01422 349222 to make an appointment.

EPC Rating:

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

Approx Gross Floor Area = 958 Sq. Feet
= 89.0 Sq. Metres



For illustrative purposes only. Not to scale.