



Byways, Yarnton, Oxfordshire

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A wonderful edge of village period house set amongst delightful gardens near Oxford.

Rare opportunity to purchase a Grade II listed detached home built by the Arts and Crafts architect and designer, Charles Ashbee.



Tenure: Available freehold

Local authority: Cherwell District Council

Council tax band: G







The Property

Set back from the road and with a double vehicular entrance Byways has been sympathetically modernised, restored and extended by the current owners whilst preserving its original design features. It provides well-balanced accommodation, with the reception rooms enjoying southerly, easterly and westerly aspects and views across mature gardens.

The drawing room, with a music room off, is impressive, with deep square bay windows, a double aspect, and an open fireplace. The extension adds to the property's character, enhancing its sense of space and light with a spacious breakfast/sitting room and kitchen with a vaulted ceiling and double French doors to a private terrace.





Situation

Situated about 4 miles north of the city of Oxford with its noted state and private schools, cultural, shopping and sporting facilities, the village of Yarnton has amenities which include a primary school, village hall, public house, doctor's surgery, post office/shop and garden centre.

The nearby historic town of Woodstock offers day to day facilities and Blenheim Palace with its landscaped parkland is a local attraction for visits and walks. Private members clubs, including Estelle Manor and Soho Farmhouse, are nearby.

Communications are excellent with Oxford Parkway station (3.2 miles) providing regular services to London Marylebone and Oxford station (5.4 miles) with its services to London Paddington from 50 minutes. The M40 is reached by the A34 and there are regular buses into Oxford and Woodstock from Yarnton.



Yarnton Oxfordshire

Gross Internal Area (Approx.)
 Main House = 304 sq m / 3,267 sq ft
 Garage = 13 sq m / 144 sq ft
 Greenhouse = 6 sqm / 72 sq ft
 (Excluding Potting Shed)
 Total Area = 323 sq m / 3,483 sq ft



This plan is for guidance only and must not be relied upon as a statement of fact. Attention is drawn to the important notice on the last page of the text of the particulars.



Knight Frank
 Oxford Sales
 274 Banbury Road
 Oxford
 OX2 7DY
knightfrank.co.uk

I would be delighted to tell you more
Harry Sheppard
 01865 790077
harry.sheppard@knightfrank.com



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