



Hillborne Gardens, Yeovil, BA21 3SA

welcome to

Hillborne Gardens, Yeovil

A spacious one bedroom ground floor garden apartment situated in the sought after Abbey Manor Development. The accommodation is presented in immaculate decorative order throughout and benefits from living room, fitted kitchen, double bedroom, bathroom, allocated parking space & enclosed garden.



Entrance

Double glazed door to the side, opening into:

Entrance Hall

Two storage cupboards. Radiator.

Lounge

16' 10" max x 8' 9" max (5.13m max x 2.67m max)

A lovely light room with double glazed door to the rear opening to the garden with double glazed windows to either side. Aerial point. Two radiators. Arch opening into:

Fitted Kitchen

8' 5" x 6' 2" (2.57m x 1.88m)

Double glazed window to the rear overlooking the garden. A range of fitted wall, base and drawer units with work surface over and complementary tiled surround. One and a half bowl stainless steel sink and drainer with mixer tap. Integrated gas hob with cooker hood over and electric double oven below. Plumbing for washing machine. Tiled floor.

Bedroom One

12' 2" x 8' 5" (3.71m x 2.57m)

Double glazed window to the front. Fitted wardrobe. Radiator.

Bathroom

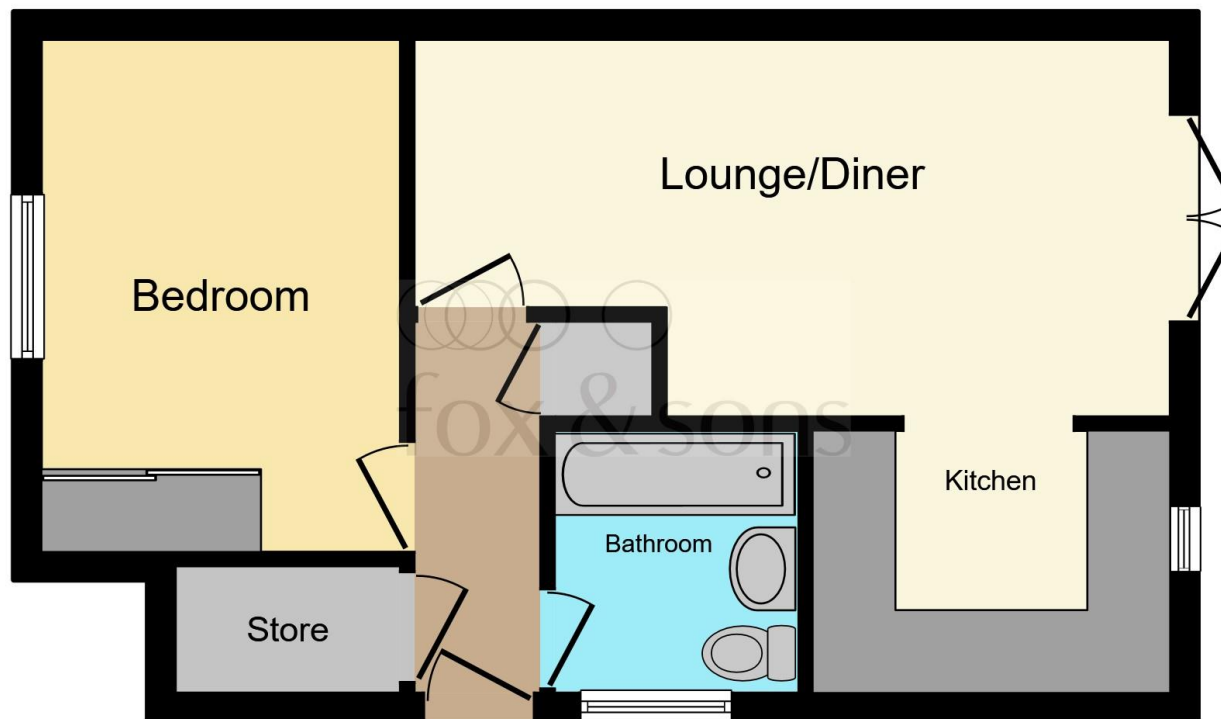
Double glazed window to the side. Suite comprising enclosed bath with mixer tap and electric shower. Wash hand basin. WC. Tiled floor. Radiator.

Parking

There is one allocated parking space.

Rear Garden

A good size enclosed rear garden, laid mainly to lawn with a paved patio area abutting the property, providing an ideal seating area to enjoy the summer sunshine. Gated side access to the front of the property and to the allocated parking space.



This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by www.focalagent.com



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Hillborne Gardens, Yeovil

- Sought After Location
- Ground Floor Apartment
- Double Bedroom
- Enclosed Private Garden
- Allocated Parking Space

Tenure: Leasehold EPC Rating: C

This is a Leasehold property with details as follows; Term of Lease 100 years from 17 Feb 2020. Should you require further information please contact the branch. Please Note additional fees could be incurred for items such as Leasehold packs.

offers in excess of

£140,000



Please note the marker reflects the postcode not the actual property

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Property Ref:
YEO107850 - 0006

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