



Ireton Way, March PE15 9DN

welcome to

Ireton Way, March

Detached House - Three Bedrooms - Enclosed Rear Garden - Garage & Off Road Parking

Convenient to Local Primary & Secondary Schools ** MUST VIEW **



Entrance Door

to

Hall

Radiator. Vinyl flooring. Stairs leading off.

Lounge

13' 11" x 13' 8" (4.24m x 4.17m)

Bow window to front. Radiator. Electric feature fireplace with marble hearth and mantel.

Kitchen

9' 6" x 6' 1" (2.90m x 1.85m)

Window to rear. Door to side, French door to garden. Vinyl flooring. Radiator. Range of wall and base units. Single drainer sink with mixer taps.

Stairs To First Floor Landing

Window to side. Loft access. Airing cupboard housing hot tank.

Bedroom One

12' 1" x 9' 3" (3.68m x 2.82m)

Window to front. TV point. Radiator. Fitted wardrobes.

Bedroom Two

9' 6" x 9' 1" (2.90m x 2.77m)

Window to rear. Radiator. Fitted wardrobes.

Bedroom Three

6' 6" x 6' 6" (1.98m x 1.98m)

Window to front. Radiator. Storage over stairs.

Bathroom

Window to rear. Tiled floor. Tiled walls. Low level w.c. Extractor fan. Panelled bath with shower over.

Outside

Rear garden has gated access and is mainly laid to grass. Outside tap. Patio areas. Raised stoned borders.

Garage

17' 7" x 8' 9" (5.36m x 2.67m)

Up and over door. Personal door to rear. Power and lighting.



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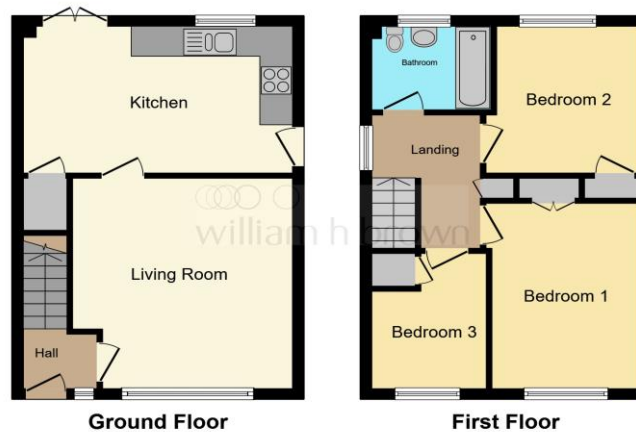


welcome to Ireton Way, March

- Detached House
- Three Bedrooms
- Garage & Off Road Parking
- Gas Central Heating
- Convenient to Local Primary & Secondary Schools
- South Side of March
- Cul-de-sac Location

Tenure: Freehold
EPC Rating: D
Council Tax Band: C

£265,000



This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by www.localagent.com



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Property Ref:
MCH114476 - 0002

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