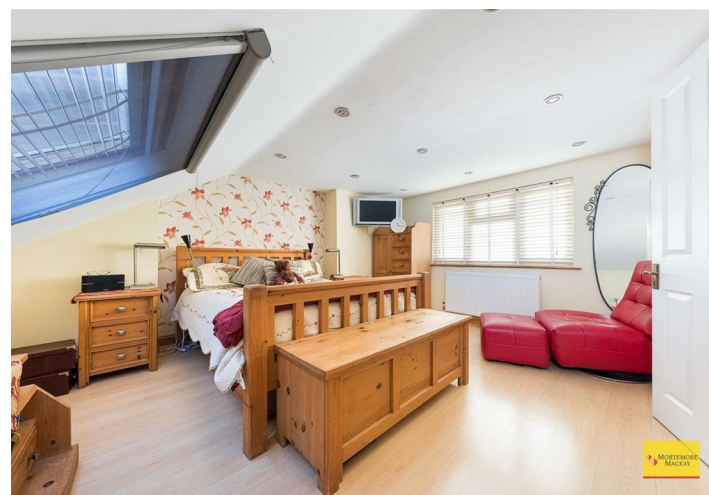


## WOODBERRY AVENUE, N21 3LG



### Offers in excess of £875,000 Freehold

- EDWARDIAN FAMILY HOUSE
- KITCHEN/DINER
- UTILITY ROOM
- THREE BATHROOMS
- SUMMER HOUSE WITH POWER AND LIGHT
- TWO FORMAL RECEPTION ROOMS
- CONSERVATORY
- FOUR BEDROOMS
- 75' GARDEN WITH SOUTHERLY ASPECT
- OFF STREET PARKING



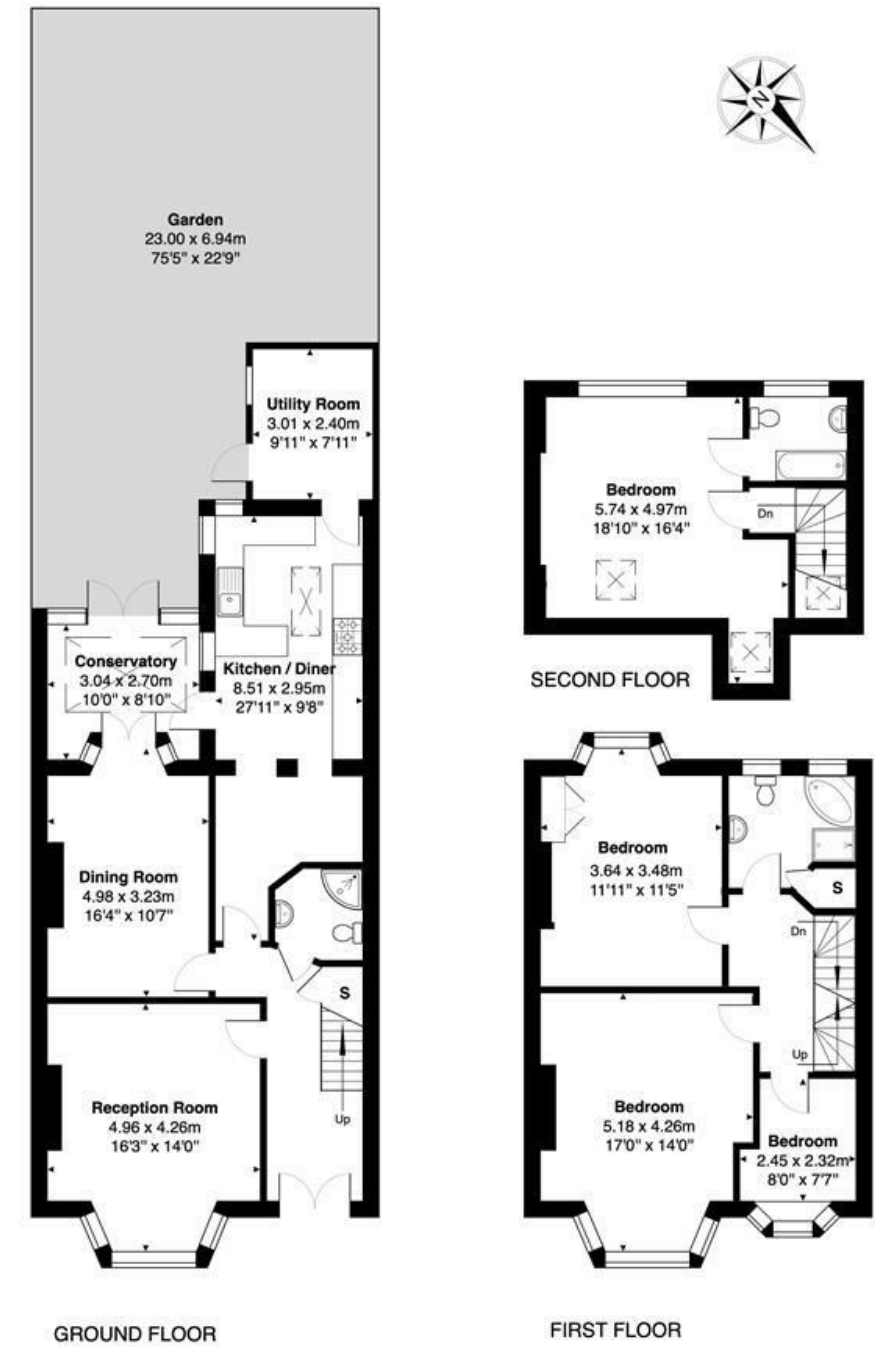
# Property Details

Mortemore Mackay are pleased to offer for sale this splendid Edwardian family home situated within easy reach of Winchmore Hill's Green, mainline Station and popular local school with good and outstanding Ofsted reports. The accommodation is arranged over three floors and provides 1884 square feet of living space. The ground floor has an entrance hall with original tiled flooring. There are four bedrooms, two with period fireplaces, one with an ensuite bathroom, a family bathroom, a downstairs shower room/wc, two formal reception rooms with period fireplaces, a conservatory, a fitted kitchen/diner and a utility room. The front is paved and provides parking for two cars and the rear garden extends to 75' with a southerly aspect. Situated at the end of the garden is a summer house which has power & lighting installed.



## Woodberry Avenue- N21

Approximate Gross Internal Area 175.0 m<sup>2</sup> ... 1884 ft<sup>2</sup> (excluding garden)



This Plan is for illustration purpose only and used as general indication of the proposed layout of the property. Dimensions are maximum and approximate and may vary.



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		<b>80</b>
(69-80) <b>C</b>	<b>65</b>	
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	