

Burnthouse Lane

S m a r d e n , K e n t

DESIGN CODE

PLANNING - May 2023

Burnthouse Lane Smarden Kent



SCHEDULE OF ACCOMMODATION

PLOT NO.	INDICATIVE GIA (SQM)
1	340
2	344
3	490
4	470
5	430
6	340
7	340
8	350



THE PROCESS

The landowner will deliver eight serviced plots for purchase by Custom Builders. All infrastructure works including roads and sewers will be installed for each individual purchaser to complete and connect to, all in accordance with the Planning Consent.

APPLICATION FOR PHASED OUTLINE CONSENT

This Design Code seeks to enable individual Plot Purchasers to vary or amend the Consent to provide opportunity for Custom Build, by means of Reserved Matters. Individual Plot Purchasers will enter into a Design and Planning Agreement with Potton, who will make application on their behalf to amend conditions granted under the Consent, for agreement on a plot-by-plot basis in accordance with the overall plans and Design Code. Variation will relate to plot layout, scale, appearance and materials.

It is intended that this code is conditioned to enable consideration of any proposed amendment.

RESERVED MATTERS

To be true to the principles of custom build, the following matters have been reserved for subsequent approval on a plot-by-plot basis:

- (a) Layout
- (b) Scale
- (c) Appearance and building materials
- (d) Hard and Soft Landscaping

Outline consent will include the approval of the means of vehicular access but it will be granted conditional on the details of the above 'reserved matters' being submitted to and approved in writing by the LPA.

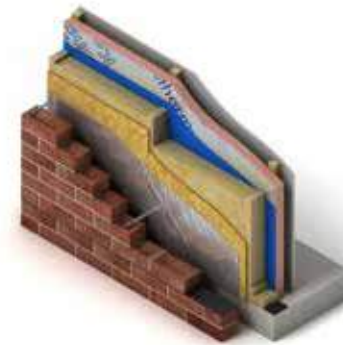
Reserved matters (a) to (c) are for agreement on a plot-by-plot basis in accordance with the overall site concept plans and design guide provided herewith. Individual and/or group plot applications for approval of reserved matters is envisaged. Matter (d) will require a strategic site wide hard and soft landscaping proposal as reference in the outline consent.

BUILD SYSTEM

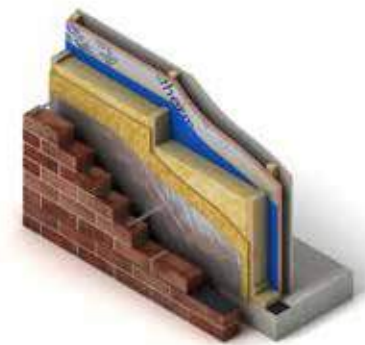
Purchasers may choose from a choice of systems offering alternative windows, doors and stairs as well as thermal performance and options to add further products.



TEK® - Passiv



ULTIMA 15



ULTIMA 19

Potton provide the vehicle for each custom builder to deliver their home. Each plot purchaser enters into an agreement with Potton who provide a bespoke design to attain a full planning consent, with approved building control details. The fee is paid directly by the purchaser. Potton provide the insulated structural frame and purchasers may choose to manage the build themselves or take advantage of the extensive support services and partner network available from Potton, to utilize a Project Management Partner or Turnkey Build Partner.

Potton will make a full planning application on behalf of each Purchaser to agreed individual designs, using the respective Plot Passport as included within this Design Code.





PLOT PASSPORT

O1

Used by Potton, self build consultant, to make a reserved matters application

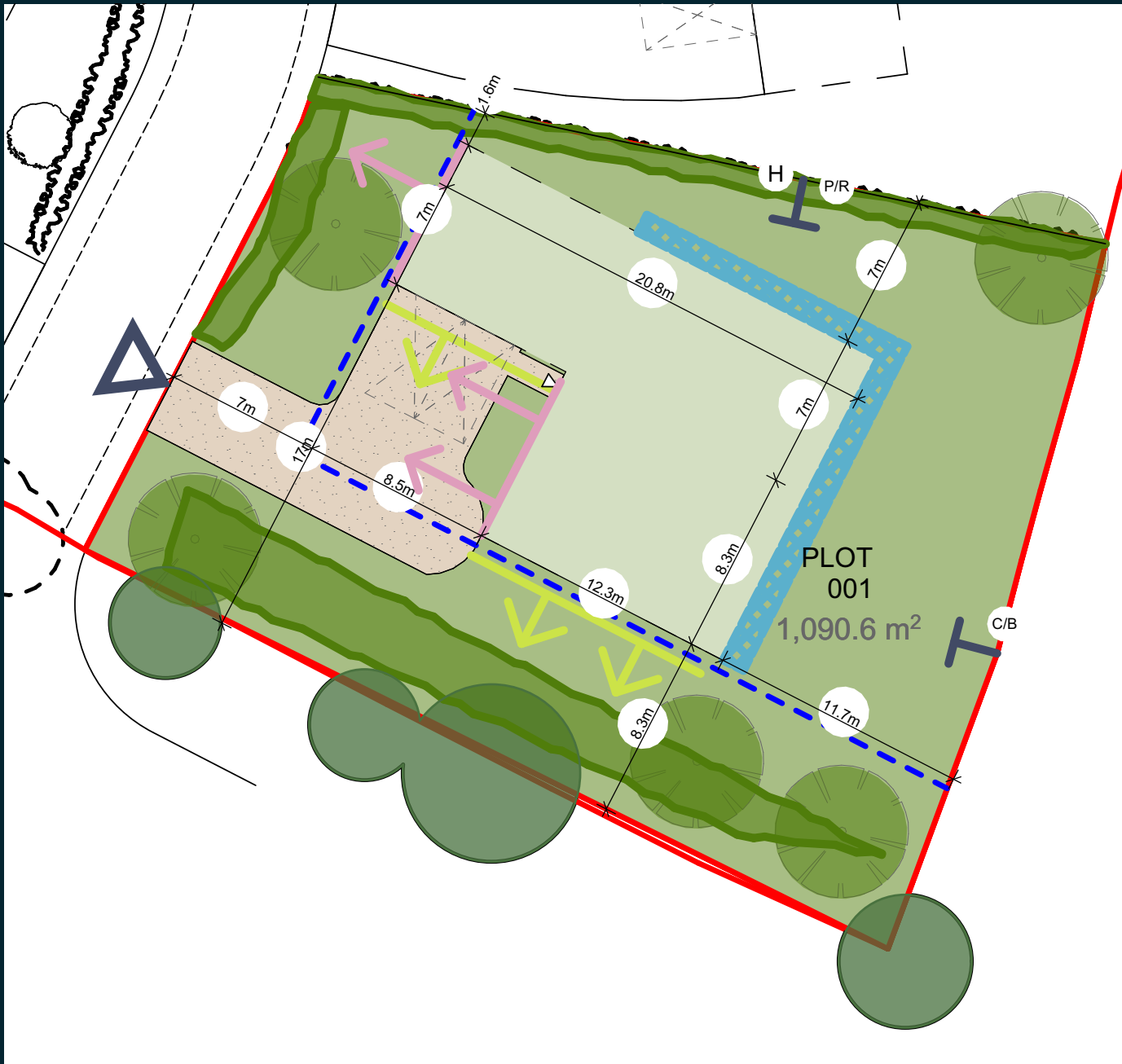
PLOT PROFILE; TYPICAL CONCEPT

UNIT TYPE: DUAL FRONTED
PLOT AREA: 1090.6m²
INDICATIVE GIA: 340m²
MAX HEIGHT: 2 STOREYS





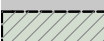








LOCATION of your build...

O1



KEY

-  EXTENT OF PLOT OWNERSHIP
Plot ownership
-  REAR GARDEN
Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
ACCESS TO PARKING
-  CAR PARKING
Permeable Paving parking zone
-  BUILD ZONE
Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
Required surveillance
-  SECONDARY FRONTAGE
Required surveillance
-  BUILDING LINE
Closest proximity to highway edge
-  REAR FACADE ZONE
Interface to garden zone - patio etc.
-  BOUNDARY TYPE
Fence/ hedge
-  BOUNDARY OWNERSHIP
Boundaries owned by plot
-  EXISTING TREE/ RPA
RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
- Hand laid block paving [09]

LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

Dwelling:

The proposed dwelling should take account of potential impacts to neighbours/surrounding developments/plots in terms of loss of light, overlooking, overbearing impacts - appearance and scale to be approved through reserved matters application

Bin Collection:

Bin storage zone should be provided on plot with suitable access for bins to be collected from the highway edge for collection

Parking:

Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

Double Garage:

Minimum internal dimensions of 6.4m wide x 7m deep with clear opening with of 2.2m; double garages contribute towards required parking numbers as 1no. space.

Single Garage:

Minimum internal dimensions of 3.2m wide x 7m deep with a clear opening width of 2.2m. Garages to be aligned with or setback from the building line; single garages do not contribute towards required parking numbers

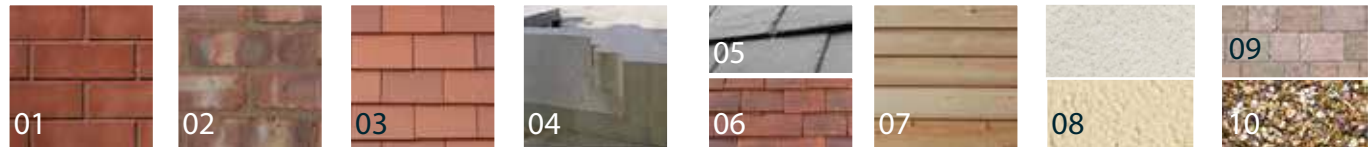
Cycle Storage:

provision for safe storage of one bicycle per bedroom is required, to be covered and secure in line with LPA policy requirements. Garage can be considered if not required to meet parking policy numbers.

RESERVED MATTERS

The reserved matters application, supported by Potton, to the Local Planning Authority must be accompanied by:

- A written description of the proposed development
- A block plan indicating the site and showing the location of the proposed development, at the appropriate scale
- Detailed plans showing access, appearance, scale, landscape and layout of the proposals at the appropriate scale
- Floor plans and elevations
- Site Levels (1:200)
- Contact address, telephone number, email address
- Ecology and Protected Species Survey (requirements to be assessed and confirmed prior to submission)



RULES of your build...

WHOLE SITE

Services:

Each plot is to be provided with access to foul and surface water drainage and utilities connections, with service terminals for use during and after construction which is subject to final design approval.

Boundary Treatments:

Throughout the development, site boundaries will be provided of consistent materials, detailing and planting to foster a cohesive community atmosphere.

Ground Works:

All works must be informed by and comply with the guidance issued in the reports detailed in the sales particulars. Ground treatment should comply with recommendations as detailed in report: '11586 GEI Rev 2' as dated May 2023.

Ecology:

All works must adhere to ecology report 'Ref: 1235_R01_Ecological Design Strategy' as dated April 2023.

INDIVIDUAL PLOTS

Density:

This plot is for one detached unit. The merging & subdivision of this plot is not permitted.

Separation:

Although plot widths are sufficiently large to support generous 'freedom' of layout, all proposals should allow access for maintenance of buildings and boundaries. It is considered that the gap to side boundaries should be a minimum 1m.

Building Footprints:

Your home must be built within the indicative 'build zones' illustrated within this plot passport. The footprint of your home does not need to fill the entire 'build zone' and can be positioned anywhere within it.

Materials:

The choice of materials must comply with those shown in the materials palette. Sustainable sources will be recommended.

Private Gardens:

Rear garden sizes vary from plot to plot. Suitable residential amenity is afforded to each plot in terms of privacy, overshadowing, outlook and garden sizes.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

Building Positions:

Development will follow a general building line to their respective road frontage with primary windows facing front and rear, see drawing, as per this plot passport. Precise building positions and footprints will ultimately be reviewed on a plot by plot basis. This will enable the individual requirements of each custom-builder to be duly considered whilst ensure that one dwelling does not unduly overlook, overshadow or over-dominated another. The build line must not be less than 2.5m from the plot boundary. The rear elevation must not be less than 10m from the rear boundary of the plot. All elevations facing the highway must provide an active frontage; corner plots to provide feature' elevations.

Site Boundary:

On-plot hard landscaping will be required to act as retaining walls where the topography of the site requires (in accordance with engineers drawings) (works prior to Plot Sale by others). Soft planting will be required to enhance the overall design and privacy between plots. Post and rail fencing, combined with hedge planting to the purchasers taste is envisioned for rear gardens. Front gardens will remain open and free from fence. Hedging planting to delineate ownership is acceptable up to a maximum of 1.1m in height.

Site Access:

The provision and location of individual plot accesses will be fixed according to the primary infrastructure, as specified in the development master plans ie. the proposed block plan and site drainage plan (to follow)

Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



PLOT PASSPORT

02

Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT

UNIT TYPE: SITE CENTRE
PLOT AREA: 981.1 m²
INDICATIVE GIA: 344 m²
MAX HEIGHT: 2 STOREYS



LOCATION of your build...

02



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
ACCESS TO PARKING
-  CAR PARKING
Permeable Paving parking zone
-  BUILD ZONE
Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
Required surveillance
-  SECONDARY FRONTAGE
Required surveillance
-  BUILDING LINE
Closest proximity to highway edge
-  REAR FACADE ZONE
Interface to garden zone - patio etc.
-  BOUNDARY TYPE
Fence/ hedge
-  BOUNDARY OWNERSHIP
Boundaries owned by plot
-  EXISTING TREE/ RPA
RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
- Hand laid block paving [09]

LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

Dwelling:

The proposed dwelling should take account of potential impacts to neighbours/surrounding developments/plots in terms of loss of light, overlooking, overbearing impacts - appearance and scale to be approved through reserved matters application

Bin Collection:

Bin storage zone should be provided on plot with suitable access for bins to be collected from the highway edge for collection

Parking:

Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

Double Garage:

Minimum internal dimensions of 6.4m wide x 7m deep with clear opening with of 2.2m; double garages contribute towards required parking numbers as 1no. space.

Single Garage:

Minimum internal dimensions of 3.2m wide x 7m deep with a clear opening width of 2.2m. Garages to be aligned with or setback from the building line; single garages do not contribute towards required parking numbers

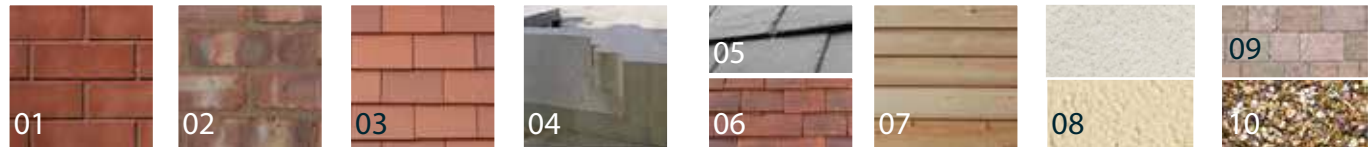
Cycle Storage:

provision for safe storage of one bicycle per bedroom is required, to be covered and secure in line with LPA policy requirements. Garage can be considered if not required to meet parking policy numbers.

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- Contact address, telephone number, email address
- Ecology and Protected Species Survey (requirements to be assessed and confirmed prior to submission)



RULES of your build...

WHOLE SITE

Services:

Each plot is to be provided with access to foul and surface water drainage and utilities connections, with service terminals for use during and after construction which is subject to final design approval.

Boundary Treatments:

Throughout the development, site boundaries will be provided of consistent materials, detailing and planting to foster a cohesive community atmosphere.

Ground Works:

All works must be informed by and comply with the guidance issued in the reports detailed in the sales particulars. Ground treatment should comply with recommendations as detailed in report: '11586 GEI Rev 2' as dated May 2023.

Ecology:

All works must adhere to ecology report 'Ref: 1235_R01_Ecological Design Strategy' as dated April 2023.

INDIVIDUAL PLOTS

Density:

This plot is for one detached unit. The merging & subdivision of this plot is not permitted.

Separation:

Although plot widths are sufficiently large to support generous 'freedom' of layout, all proposals should allow access for maintenance of buildings and boundaries. It is considered that the gap to side boundaries should be a minimum 1m.

Building Footprints:

Your home must be built within the indicative 'build zones' illustrated within this plot passport. The footprint of your home does not need to fill the entire 'build zone' and can be positioned anywhere within it.

Materials:

The choice of materials must comply with those shown in the materials palette. Sustainable sources will be recommended.

Private Gardens:

Rear garden sizes vary from plot to plot. Suitable residential amenity is afforded to each plot in terms of privacy, overshadowing, outlook and garden sizes.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

Building Positions:

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Site Boundary:

On-plot hard landscaping will be required to act as retaining walls where the topography of the site requires (in accordance with engineers drawings) (works prior to Plot Sale by others). Soft planting will be required to enhance the overall design and privacy between plots. Post and rail fencing, combined with hedge planting to the purchasers taste is envisioned for rear gardens. Front gardens will remain open and free from fence. Hedging planting to delineate ownership is acceptable up to a maximum of 1.1m in height.

Site Access:

The provision and location of individual plot accesses will be fixed according to the primary infrastructure, as specified in the development master plans ie. the proposed block plan and site drainage plan (to follow)

Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



PLOT PASSPORT

03

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PLOT PROFILE; TYPICAL CONCEPT

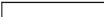
















UNIT TYPE: SITE EDGE
PLOT AREA: 2508.2 m²
INDICATIVE GIA: 490 m²
MAX HEIGHT: 2 STOREYS



LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
ACCESS TO PARKING
-  CAR PARKING
Permeable Paving parking zone
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Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
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-  PRIMARY FRONTAGE
Required surveillance
-  SECONDARY FRONTAGE
Required surveillance
-  BUILDING LINE
Closest proximity to highway edge
-  REAR FACADE ZONE
Interface to garden zone - patio etc.
-  BOUNDARY TYPE
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Boundaries owned by plot
-  EXISTING TREE/ RPA
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MATERIAL PALETTE

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- Heritage red/multi brick [02]
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- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

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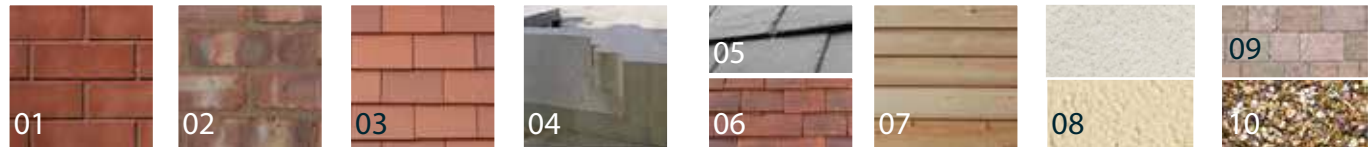
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RULES of your build...

WHOLE SITE

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INDIVIDUAL PLOTS

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Separation:

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Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

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Building Positions:

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Site Boundary:

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Site Access:

The provision and location of individual plot accesses will be fixed according to the primary infrastructure, as specified in the development master plans ie. the proposed block plan and site drainage plan (to follow)

Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

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Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



PLOT PASSPORT

04

Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT

UNIT TYPE: SITE EDGE
PLOT AREA: 1085 m²
INDICATIVE GIA: 470 m²
MAX HEIGHT: 2 STOREYS



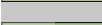

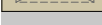





04

LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
-  Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
-  Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
-  ACCESS TO PARKING
-  CAR PARKING
-  Permeable Paving parking zone
-  BUILD ZONE
-  Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
-  Required surveillance
-  SECONDARY FRONTAGE
-  Required surveillance
-  BUILDING LINE
-  Closest proximity to highway edge
-  REAR FACADE ZONE
-  Interface to garden zone - patio etc.
-  BOUNDARY TYPE
-  Fence/ hedge
-  BOUNDARY OWNERSHIP
-  Boundaries owned by plot
-  EXISTING TREE/ RPA
-  RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
- Hand laid block paving [09]

LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

Dwelling:

The proposed dwelling should take account of potential impacts to neighbours/surrounding developments/plots in terms of loss of light, overlooking, overbearing impacts - appearance and scale to be approved through reserved matters application

Bin Collection:

Bin storage zone should be provided on plot with suitable access for bins to be collected from the highway edge for collection

Parking:

Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

Double Garage:

Minimum internal dimensions of 6.4m wide x 7m deep with clear opening with of 2.2m; double garages contribute towards required parking numbers as 1no. space.

Single Garage:

Minimum internal dimensions of 3.2m wide x 7m deep with a clear opening width of 2.2m. Garages to be aligned with or setback from the building line; single garages do not contribute towards required parking numbers

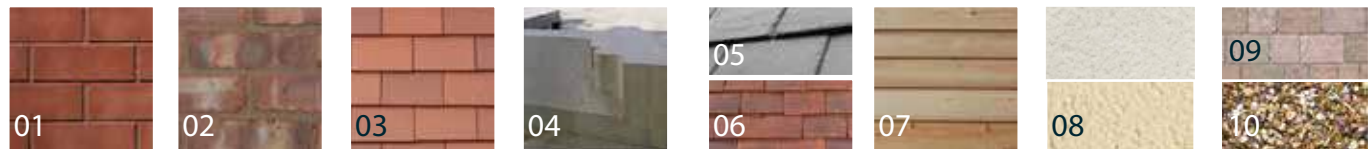
Cycle Storage:

provision for safe storage of one bicycle per bedroom is required, to be covered and secure in line with LPA policy requirements. Garage can be considered if not required to meet parking policy numbers.

RESERVED MATTERS

The reserved matters application, supported by Potton, to the Local Planning Authority must be accompanied by:

- A written description of the proposed development
- A block plan indicating the site and showing the location of the proposed development, at the appropriate scale
- Detailed plans showing access, appearance, scale, landscape and layout of the proposals at the appropriate scale
- Floor plans and elevations
- Site Levels (1:200)
- Contact address, telephone number, email address
- Ecology and Protected Species Survey (requirements to be assessed and confirmed prior to submission)



RULES of your build...

WHOLE SITE

Services:

Each plot is to be provided with access to foul and surface water drainage and utilities connections, with service terminals for use during and after construction which is subject to final design approval.

Boundary Treatments:

Throughout the development, site boundaries will be provided of consistent materials, detailing and planting to foster a cohesive community atmosphere.

Ground Works:

All works must be informed by and comply with the guidance issued in the reports detailed in the sales particulars. Ground treatment should comply with recommendations as detailed in report: '11586 GEI Rev 2' as dated May 2023.

Ecology:

All works must adhere to ecology report 'Ref: 1235_R01_Ecological Design Strategy' as dated April 2023.

INDIVIDUAL PLOTS

Density:

This plot is for one detached unit. The merging & subdivision of this plot is not permitted.

Separation:

Although plot widths are sufficiently large to support generous 'freedom' of layout, all proposals should allow access for maintenance of buildings and boundaries. It is considered that the gap to side boundaries should be a minimum 1m.

Building Footprints:

Your home must be built within the indicative 'build zones' illustrated within this plot passport. The footprint of your home does not need to fill the entire 'build zone' and can be positioned anywhere within it.

Materials:

The choice of materials must comply with those shown in the materials palette. Sustainable sources will be recommended.

Private Gardens:

Rear garden sizes vary from plot to plot. Suitable residential amenity is afforded to each plot in terms of privacy, overshadowing, outlook and garden sizes.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

Building Positions:

Development will follow a general building line to their respective road frontage with primary windows facing front and rear, see drawing, as per this plot passport. Precise building positions and footprints will ultimately be reviewed on a plot by plot basis. This will enable the individual requirements of each custom-builder to be duly considered whilst ensure that one dwelling does not unduly overlook, overshadow or over-dominated another. The build line must not be less than 2.5m from the plot boundary. The rear elevation must not be less than 10m from the rear boundary of the plot. All elevations facing the highway must provide an active frontage; corner plots to provide feature' elevations.

Site Boundary:

On-plot hard landscaping will be required to act as retaining walls where the topography of the site requires (in accordance with engineers drawings) (works prior to Plot Sale by others). Soft planting will be required to enhance the overall design and privacy between plots. Post and rail fencing, combined with hedge planting to the purchasers taste is envisioned for rear gardens. Front gardens will remain open and free from fence. Hedging planting to delineate ownership is acceptable up to a maximum of 1.1m in height.

Site Access:

The provision and location of individual plot accesses will be fixed according to the primary infrastructure, as specified in the development master plans ie. the proposed block plan and site drainage plan (to follow)

Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



DESIGN CODE
Burnthouse Lane, Smarden

PLOT PASSPORT

05

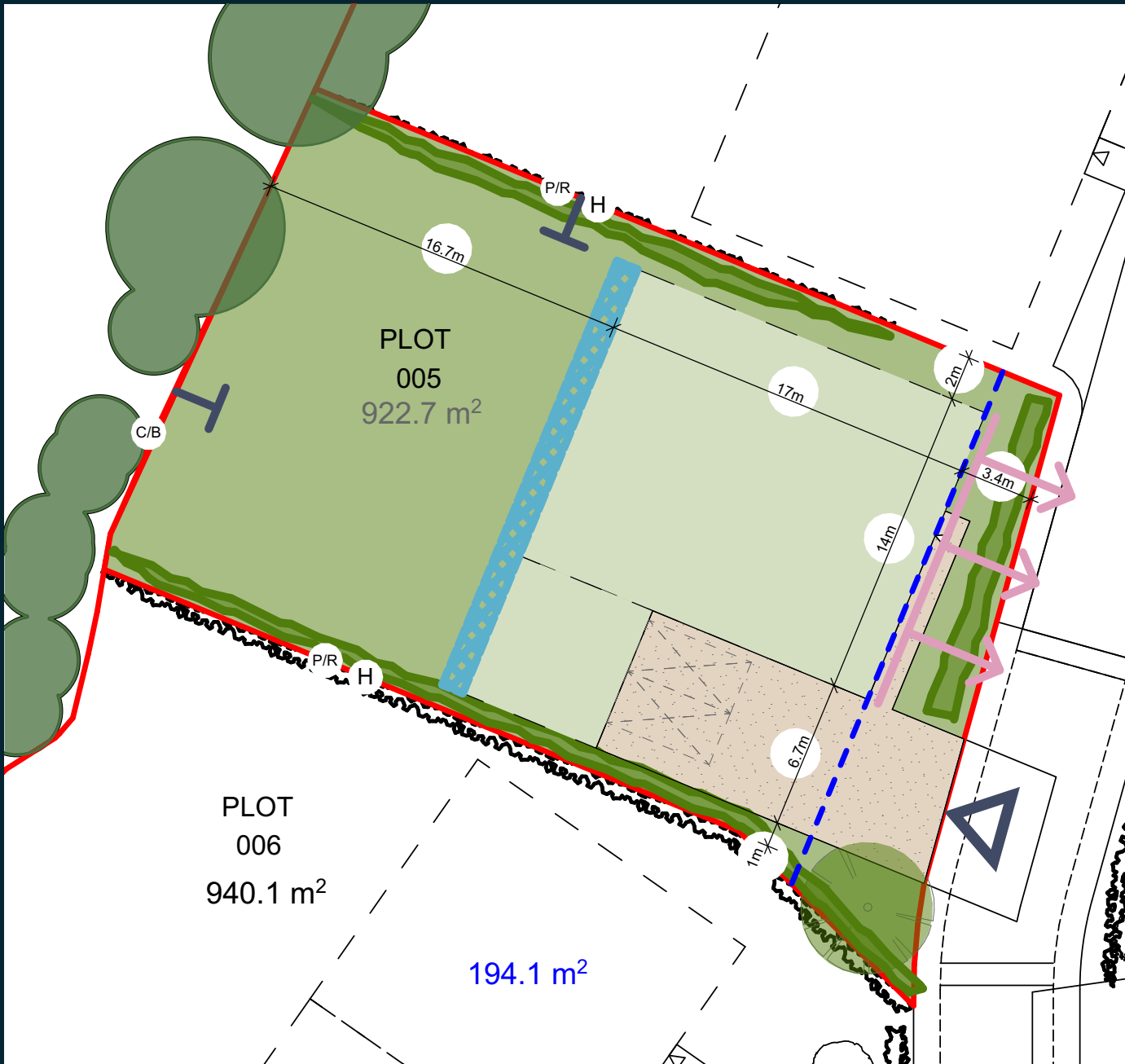
Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT







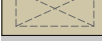













UNIT TYPE: SITE CENTRE
PLOT AREA: 922.7 m²
INDICATIVE GIA: 430 m²
MAX HEIGHT: 2 STOREYS



LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
-  Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
-  Green space to the plot frontage
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-  DRIVEWAY ACCESS
-  ACCESS TO PARKING
-  CAR PARKING
-  Permeable Paving parking zone
-  BUILD ZONE
-  Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
-  Required surveillance
-  SECONDARY FRONTAGE
-  Required surveillance
-  BUILDING LINE
-  Closest proximity to highway edge
-  REAR FACADE ZONE
-  Interface to garden zone - patio etc.
-  BOUNDARY TYPE
-  Fence/ hedge
-  BOUNDARY OWNERSHIP
-  Boundaries owned by plot
-  EXISTING TREE/ RPA
-  RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
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LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

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Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

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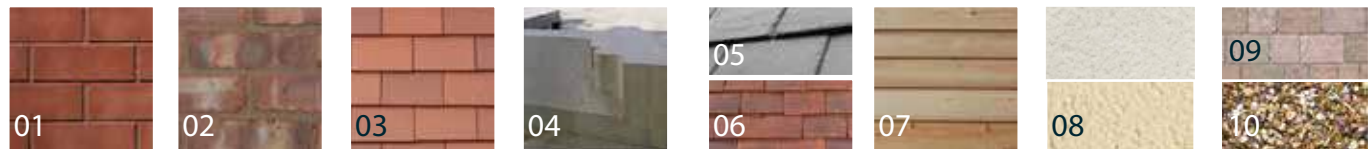
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RULES of your build...

WHOLE SITE

Services:

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Boundary Treatments:

Throughout the development, site boundaries will be provided of consistent materials, detailing and planting to foster a cohesive community atmosphere.

Ground Works:

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Ecology:

All works must adhere to ecology report 'Ref: 1235_R01_Ecological Design Strategy' as dated April 2023.

INDIVIDUAL PLOTS

Density:

This plot is for one detached unit. The merging & subdivision of this plot is not permitted.

Separation:

Although plot widths are sufficiently large to support generous 'freedom' of layout, all proposals should allow access for maintenance of buildings and boundaries. It is considered that the gap to side boundaries should be a minimum 1m.

Building Footprints:

Your home must be built within the indicative 'build zones' illustrated within this plot passport. The footprint of your home does not need to fill the entire 'build zone' and can be positioned anywhere within it.

Materials:

The choice of materials must comply with those shown in the materials palette. Sustainable sources will be recommended.

Private Gardens:

Rear garden sizes vary from plot to plot. Suitable residential amenity is afforded to each plot in terms of privacy, overshadowing, outlook and garden sizes.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

Building Positions:

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Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



PLOT PASSPORT

06

Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT

UNIT TYPE: SITE CENTRE

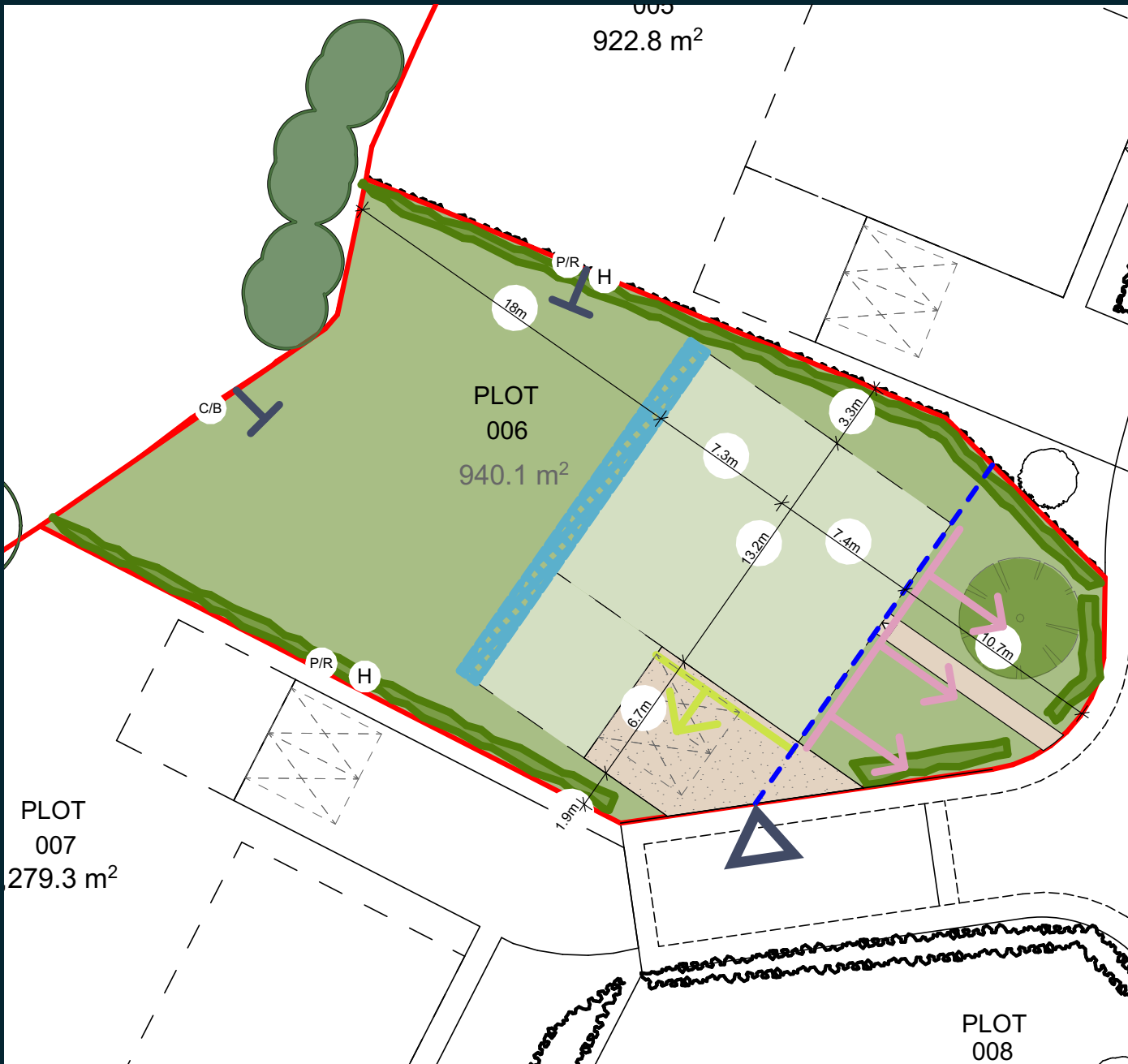
PLOT AREA: 940.1 m²

INDICATIVE GIA: 340 m²







MAX HEIGHT: 2 STOREYS



LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
-  Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
-  Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
-  ACCESS TO PARKING
-  CAR PARKING
-  Permeable Paving parking zone
-  BUILD ZONE
-  Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
-  Required surveillance
-  SECONDARY FRONTAGE
-  Required surveillance
-  BUILDING LINE
-  Closest proximity to highway edge
-  REAR FACADE ZONE
-  Interface to garden zone - patio etc.
-  BOUNDARY TYPE
-  Fence/ hedge
-  BOUNDARY OWNERSHIP
-  Boundaries owned by plot
-  EXISTING TREE/ RPA
-  RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
- Hand laid block paving [09]

LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

Dwelling:

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Bin Collection:

Bin storage zone should be provided on plot with suitable access for bins to be collected from the highway edge for collection

Parking:

Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

Double Garage:

Minimum internal dimensions of 6.4m wide x 7m deep with clear opening with of 2.2m; double garages contribute towards required parking numbers as 1no. space.

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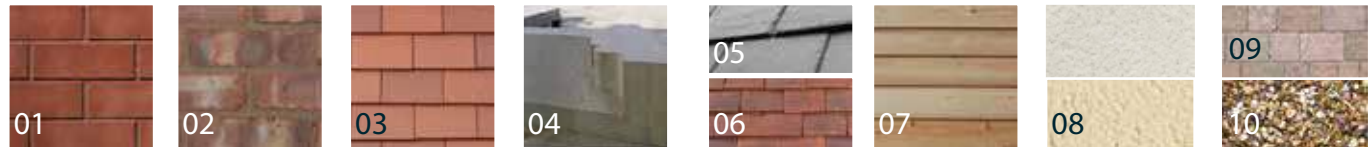
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RULES of your build...

WHOLE SITE

Services:

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Boundary Treatments:

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Density:

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Separation:

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Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

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Site Access:

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Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

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PLOT PASSPORT

07

Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT

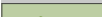




- UNIT TYPE: DUAL FRONTED
- PLOT AREA: 1279.3 m²
- INDICATIVE GIA: 340 m²
- MAX HEIGHT: 2 STOREYS



LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
-  Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
-  Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
-  ACCESS TO PARKING
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- Smooth red brickwork [01]
- Heritage red/multi brick [02]
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- Local natural stone [04]
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- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
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- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
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Dwelling:

The proposed dwelling should take account of potential impacts to neighbours/surrounding developments/plots in terms of loss of light, overlooking, overbearing impacts - appearance and scale to be approved through reserved matters application

Bin Collection:

Bin storage zone should be provided on plot with suitable access for bins to be collected from the highway edge for collection

Parking:

Number of spaces by comply with current policy requirement per number of bedrooms, size min. 2.5m x 5.5m

Double Garage:

Minimum internal dimensions of 6.4m wide x 7m deep with clear opening with of 2.2m; double garages contribute towards required parking numbers as 1no. space.

Single Garage:

Minimum internal dimensions of 3.2m wide x 7m deep with a clear opening width of 2.2m. Garages to be aligned with or setback from the building line; single garages do not contribute towards required parking numbers

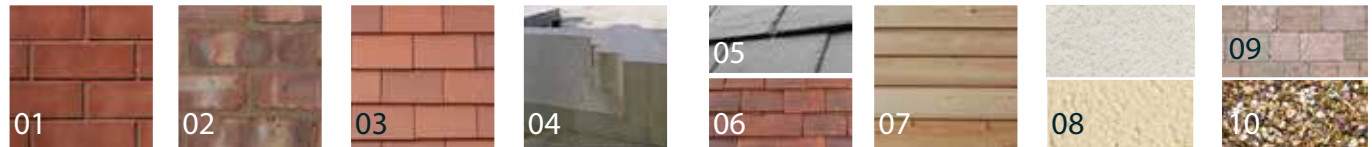
Cycle Storage:

provision for safe storage of one bicycle per bedroom is required, to be covered and secure in line with LPA policy requirements. Garage can be considered if not required to meet parking policy numbers.

RESERVED MATTERS

The reserved matters application, supported by Potton, to the Local Planning Authority must be accompanied by:

- A written description of the proposed development
- A block plan indicating the site and showing the location of the proposed development, at the appropriate scale
- Detailed plans showing access, appearance, scale, landscape and layout of the proposals at the appropriate scale
- Floor plans and elevations
- Site Levels (1:200)
- Contact address, telephone number, email address
- Ecology and Protected Species Survey (requirements to be assessed and confirmed prior to submission)



RULES of your build...

WHOLE SITE

Services:

Each plot is to be provided with access to foul and surface water drainage and utilities connections, with service terminals for use during and after construction which is subject to final design approval.

Boundary Treatments:

Throughout the development, site boundaries will be provided of consistent materials, detailing and planting to foster a cohesive community atmosphere.

Ground Works:

All works must be informed by and comply with the guidance issued in the reports detailed in the sales particulars. Ground treatment should comply with recommendations as detailed in report: '11586 GEI Rev 2' as dated May 2023.

Ecology:

All works must adhere to ecology report 'Ref: 1235_R01_Ecological Design Strategy' as dated April 2023.

INDIVIDUAL PLOTS

Density:

This plot is for one detached unit. The merging & subdivision of this plot is not permitted.

Separation:

Although plot widths are sufficiently large to support generous 'freedom' of layout, all proposals should allow access for maintenance of buildings and boundaries. It is considered that the gap to side boundaries should be a minimum 1m.

Building Footprints:

Your home must be built within the indicative 'build zones' illustrated within this plot passport. The footprint of your home does not need to fill the entire 'build zone' and can be positioned anywhere within it.

Materials:

The choice of materials must comply with those shown in the materials palette. Sustainable sources will be recommended.

Private Gardens:

Rear garden sizes vary from plot to plot. Suitable residential amenity is afforded to each plot in terms of privacy, overshadowing, outlook and garden sizes.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Parking:

Minimum of 2 car parking spaces on the plot (total number to comply with current policy requirement per number of bedrooms); a minimum of 2.5m x 5.5m in size. Parking bay locations will be designed in conjunction with the master plan and services layout (to follow). The minimum dimensions of garages is required to follow the LPA guidance.

Building Positions:

Development will follow a general building line to their respective road frontage with primary windows facing front and rear, see drawing, as per this plot passport. Precise building positions and footprints will ultimately be reviewed on a plot by plot basis. This will enable the individual requirements of each custom-builder to be duly considered whilst ensure that one dwelling does not unduly overlook, overshadow or over-dominated another. The build line must not be less than 2.5m from the plot boundary. The rear elevation must not be less than 10m from the rear boundary of the plot. All elevations facing the highway must provide an active frontage; corner plots to provide feature' elevations.

Site Boundary:

On-plot hard landscaping will be required to act as retaining walls where the topography of the site requires (in accordance with engineers drawings) (works prior to Plot Sale by others). Soft planting will be required to enhance the overall design and privacy between plots. Post and rail fencing, combined with hedge planting to the purchasers taste is envisioned for rear gardens. Front gardens will remain open and free from fence. Hedging planting to delineate ownership is acceptable up to a maximum of 1.1m in height.

Site Access:

The provision and location of individual plot accesses will be fixed according to the primary infrastructure, as specified in the development master plans ie. the proposed block plan and site drainage plan (to follow)

Renewable Energy:

Renewable energy generation is encouraged with advice given on application. An EV charging point is required to be provided on plot.

Driveways and paths:

Materials used in the construction of private driveways are required to be gravel or block paving.

Construction plan:

All works will comply with the construction plan rules and regulations.

MASSING AND COMPOSITION

Number of Storeys:

In keeping with the surrounding area of the site, the maximum allowable storey height for each plot is 2 storeys. See Individual Plot Passport for reference.

Finished Floor Level:

The level of the dwelling will be set at 150mm above the existing mean plot ground level, as specified in the development master plans (i.e. the proposed block plan, site sections and site drainage plan).

Street Scene:

Each subsequent Reserved Matters Application will be supported by an indicative street scene to demonstrate the scale of each dwelling relative to those already approved and/or envisaged. This will ensure that there are no adverse disparities between the corresponding scale and form of each respective dwelling.

Composition:

Elevation heights and scales should be contextual. Other matters to consider include solar orientation; visibility from the street; day to- day functionality; individual plot layout; and, the relationship with adjacent social / communal spaces.

Landscaping:

Shrub/ hedge/ tree planting to the public realm to accord with the landscape plan (to be approved through discharge of condition/reserved matters applications). Each plot purchaser to take note of existing trees to be retained and their associated root protection area (RPA). Attention should be given to the guidance provided in the tree assessment to protect the trees during construction.



DESIGN CODE
Burnthouse Lane, Smarden

PLOT PASSPORT

08

Used by Potton, self build consultant, to make a reserved matters application

PLOT PROFILE; TYPICAL CONCEPT

UNIT TYPE: DUAL FRONTED
PLOT AREA: 1126.6 m²
INDICATIVE GIA: 350 m²
MAX HEIGHT: 2 STOREYS








08

LOCATION of your build...



KEY

-  EXTENT OF PLOT OWNERSHIP
-  Plot ownership
-  REAR GARDEN
-  Green space/ no build zone to rear
-  FRONT GARDEN/PLANTING
-  Green space to the plot frontage
-  SERVICE STRIP
-  DRIVEWAY ACCESS
-  ACCESS TO PARKING
-  CAR PARKING
-  Permeable Paving parking zone
-  BUILD ZONE
-  Area dwelling must sit within
-  SINGLE STOREY LINK ZONE
-  GARAGE ZONE
-  PRIMARY FRONTAGE
-  Required surveillance
-  SECONDARY FRONTAGE
-  Required surveillance
-  BUILDING LINE
-  Closest proximity to highway edge
-  REAR FACADE ZONE
-  Interface to garden zone - patio etc.
-  BOUNDARY TYPE
-  Fence/ hedge
-  BOUNDARY OWNERSHIP
-  Boundaries owned by plot
-  EXISTING TREE/ RPA
-  RPA requires no dig construction



MATERIAL PALETTE

MASONRY

- Smooth red brickwork [01]
- Heritage red/multi brick [02]
- Hanging Tiles [03]
- Local natural stone [04]
- (lintels, sills, surrounds and corbels)*
- Pastel render - creams/ light grey/ white [08]

EXTERNAL WINDOWS DOOR AND FEATURES

- Light grey/dark grey/cream/natural High performance uPVC, aluminium or timber
- External soffits/gutters/down pipes - black/ grey
- Powder coated aluminium bi-fold or sliding doors

TIMBER CLAD [07]

- White/Grey/cream/natural/black/pastel
- Horizontal or vertical
- Timber options to include larch/cedar/chestnut

ROOF

- Light and dark grey slate [05]
- Classic/traditional clay tiles [06]

DRIVES AND PAVING

- Porous paving
- Rolled pea shingle/gravel [10]
- Hand laid block paving [09]

LPA RULES

Boundaries:

Boundaries to the public realm to be sensitive in treatment - refer to plot passports

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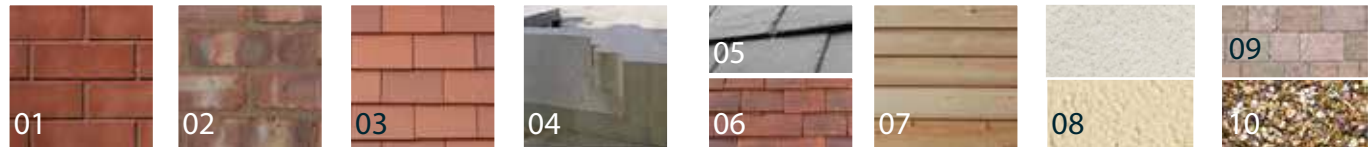
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Contact Details

For more information on custom build and the **design and build process** please contact:

GAVIN PEARSON
Self Build Consultant

07384 240 163

gavin.pearson@kingspan.com

For plot **sales enquiries** please contact:

TBC
TBC
07
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@

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To ensure you are viewing the most recent and accurate product information, please scan the QR code directly above.

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