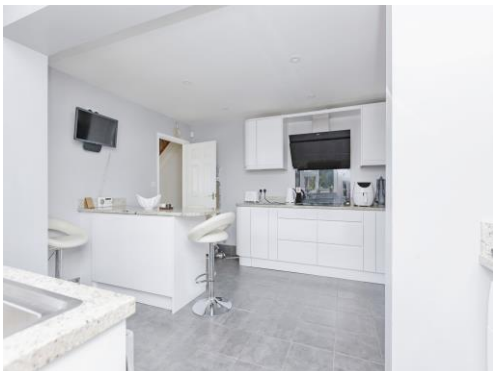




**Connells**

St. Marys Avenue  
Barwell Leicester





## Property Description

An extended four/five bedroomed semi-detached family property having large lounge, kitchen / breakfast room, conservatory, porch, hallway, bathroom, dining room/bedroom five to the ground floor, and with a further four bedrooms with fitted wardrobes including master bedroom with en-suite shower room, and an additional family bathroom to the first floor, which have both been recently re-fitted. The property benefits from a large block paved driveway to the front providing off road parking for multiple vehicles and enclosed laid to lawn garden to rear. Having UPVC double glazing, gas fired central heating.

The property sits in a sought after and convenient location within walking distance of the village centre including shops, schools, doctors, dentists, bus service, public houses, parks, open countryside and good access to major road links.

## Entrance Porch

4' x 5' 8" ( 1.22m x 1.73m )

Having UPVC double glazed door to the side elevation, UPVC double glazed window to the front elevation and tiled flooring.

## Entrance Hallway

11' 10" x 5' 8" ( 3.61m x 1.73m )

With under floor heating, UPVC double glazed window to the side elevation, storage cupboard and stairs off to the first floor.

## Lounge

11' 5" x 21' 5" ( 3.48m x 6.53m )

Having under floor heating, carpet flooring, coving to ceiling, under stairs storage cupboard, UPVC double glazed window to the rear and patio doors leading into the conservatory.

## Dining Room / Bedroom Five

15' 9" x 10' 4" ( 4.80m x 3.15m )

Having coving to ceiling, wooden flooring and UPVC double glazed window to the front elevation.

## Kitchen / Breakfast Room

15' 3" x 14' 11" ( 4.65m x 4.55m )

The kitchen has a range of modern wall and base units with granite worktop, stainless steel sink and drainer with mixer tap, breakfast bar, pantry cupboard, cupboard housing the boiler (installed within the last 2 years) built-in oven, ceramic hob with extractor hood above, appliance recess points, tiled floor with under floor heating, two Velux windows and UPVC double glazed door and window to the front elevation.

## Bathroom

4' 10" x 10' 3" ( 1.47m x 3.12m )

Comprising panel bath with shower over, pedestal hand wash basin, WC, tiled flooring, tiling to walls, chrome heated towel radiator,

coving, spotlights and UPVC double glazed window to the rear elevation.

### Conservatory

15' 2" x 7' 5" ( 4.62m x 2.26m )

Having tiled flooring and UPVC double glazed French door leading into the rear garden.

### First Floor Landing

7' 6" x 7' 6" ( 2.29m x 2.29m )

Having airing cupboard and giving access to the first floor accommodation.

### Bedroom One

15' 10" x 10' 11" ( 4.83m x 3.33m )

Having carpet flooring, radiator, coving to ceiling, built-in wardrobes and UPVC double glazed window to the front elevation.

### En-Suite Shower Room

4' 10" x 10' 3" ( 1.47m x 3.12m )

Recently re-fitted and comprising walk-in shower with rainfall shower head, vanity sink unit, WC, electric towel radiator, tiled flooring and UPVC double glazed window to the rear elevation.

### Bedroom Two

10' 5" x 13' 8" ( 3.17m x 4.17m )

Having radiator, coving to ceiling, carpet flooring, built-in wardrobe and UPVC double glazed window to the rear elevation.

### Bedroom Three

11' 6" x 10' 7" ( 3.51m x 3.23m )

Having radiator, coving to ceiling, carpet flooring, built-in wardrobe and UPVC double glazed window to the front elevation.

### Bedroom Four

7' 7" x 9' 8" ( 2.31m x 2.95m )

Having radiator, coving to ceiling, carpet flooring, built-in cupboard and UPVC double glazed window to the front elevation.

### Family Bathroom

5' 6" x 7' 5" ( 1.68m x 2.26m )

Recently re-fitted and having panel bath, hand wash basin, WC, chrome heated towel radiator, extractor fan, PVC panelled walls, lino flooring and UPVC double glazed window to the rear elevation.

### To The Outside

To the front of the property there is a block paved driveway with parking for multiple vehicles.

The rear garden is mainly laid to lawn with a paved patio area, shrubbery borders and enclosed with fencing. With double shed.















This floorplan is for illustrative purposes only and is not drawn to scale. Measurements, floor-areas, openings and orientations are approximate. They should not be relied upon for any purpose and do not form any part of an agreement. No liability is taken for any error or mis-statement. All parties must rely on their own inspections.

To view this property please contact Connells on

**T 01455 230523**  
**E [hinckley@connells.co.uk](mailto:hinckley@connells.co.uk)**

88 Castle Street  
 HINCKLEY LE10 1DD

**EPC Rating: C**

Tenure: Freehold

**view this property online [connells.co.uk/Property/HIN311925](http://connells.co.uk/Property/HIN311925)**



1. MONEY LAUNDERING REGULATIONS Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in agreeing the sale. 2. These particulars do not constitute part or all of an offer or contract. 3. The measurements indicated are supplied for guidance only and as such must be considered incorrect. Potential buyers are advised to recheck measurements before committing to any expense. 4. We have not tested any apparatus, equipment, fixtures, fittings or services and it is in the buyers interest to check the working condition of any appliances.

Connells Residential is registered in England and Wales under company number 1489613, Registered Office is Cumbria House, 16-20 Hockliffe Street, Leighton Buzzard, Bedfordshire, LU7 1GN. VAT Registration Number is 500 2481 05.

**See all our properties at [www.connells.co.uk](http://www.connells.co.uk) | [www.rightmove.co.uk](http://www.rightmove.co.uk) | [www.zoopla.co.uk](http://www.zoopla.co.uk)**

Property Ref: HIN311925 - 0005