



Conne  
connells.co.uk  
FOR SA

Connells

Tame Road  
Oldbury





## Property Description

**\*\*WELL PRESENTED PROPERTY SITUATED IN A POPULAR AREA OF OLDBURY WITH PRIMARY SCHOOLS AND PUBLIC TRANSPORT LINKS NEAR BY, THIS WOULD MAKE THE PERFECT FIRST TIME BUYER PROPERTY\*\***

internally the property comprises of: lounge, kitchen, three bedrooms and shower room.

Externally the property has a well maintained rear garden with fence boundaries and a small patio area, perfect for those days/nights socialising and relaxing with your friends and family.

Call TODAY to REGISTER your interest on this property, Early viewing is advised to appreciate all accommodation on offer.

## Entrance Hall

Having door to front, large storage cupboard and wall mounted radiator.

## Lounge

21' x 10' 10" ( 6.40m x 3.30m )

Having double glazed window to front and rear and wall mounted radiator.

## Kitchen

10' 2" x 8' 1" ( 3.10m x 2.46m )

Having wall and base units, sink/drainer integrated into work surface, double glazed window to rear, integrated oven and electric

oven with Ex. Fan. kitchen also benefits from a wall mounted radiator.

## Landing

Having storage cupboard, airing cupboard housing the boiler. Doors leading to various rooms:

## Bedroom One

9' 7" x 8' 9" Plus recess ( 2.92m x 2.67m Plus recess )

Having double glazed window to front and wall mounted radiator.

## Bedroom Two

12' 1" x 19' ( 3.68m x 5.79m )

Having double glazed window to rear and wall mounted radiator.

## Bedroom Three

10' 9" x 6' 7" ( 3.28m x 2.01m )

Having double glazed window to front, storage cupboard and wall mounted radiator.

## Shower Room

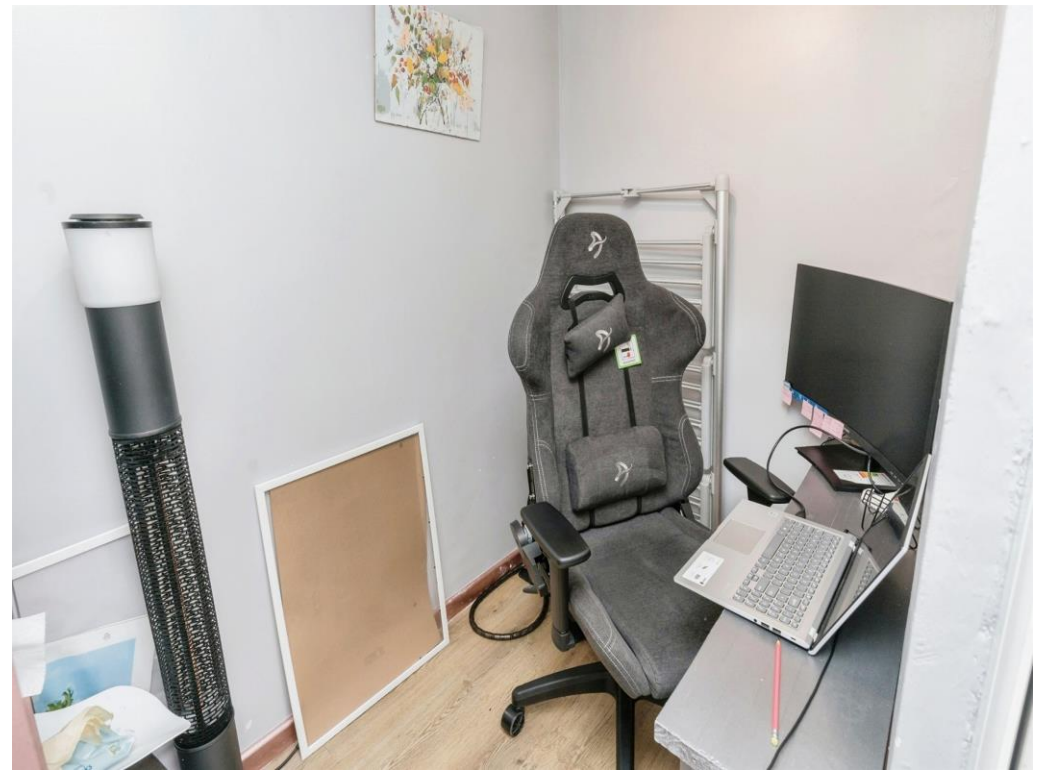
Having double glazed window to rear, wash hand basin with vanity unit, double shower and radiator.

## Seperate W.C

Low level WC, wash hand basin, double glazed window to rear.

## Rear Garden

Having a small patio area we a further lawned area with fence boundaries.

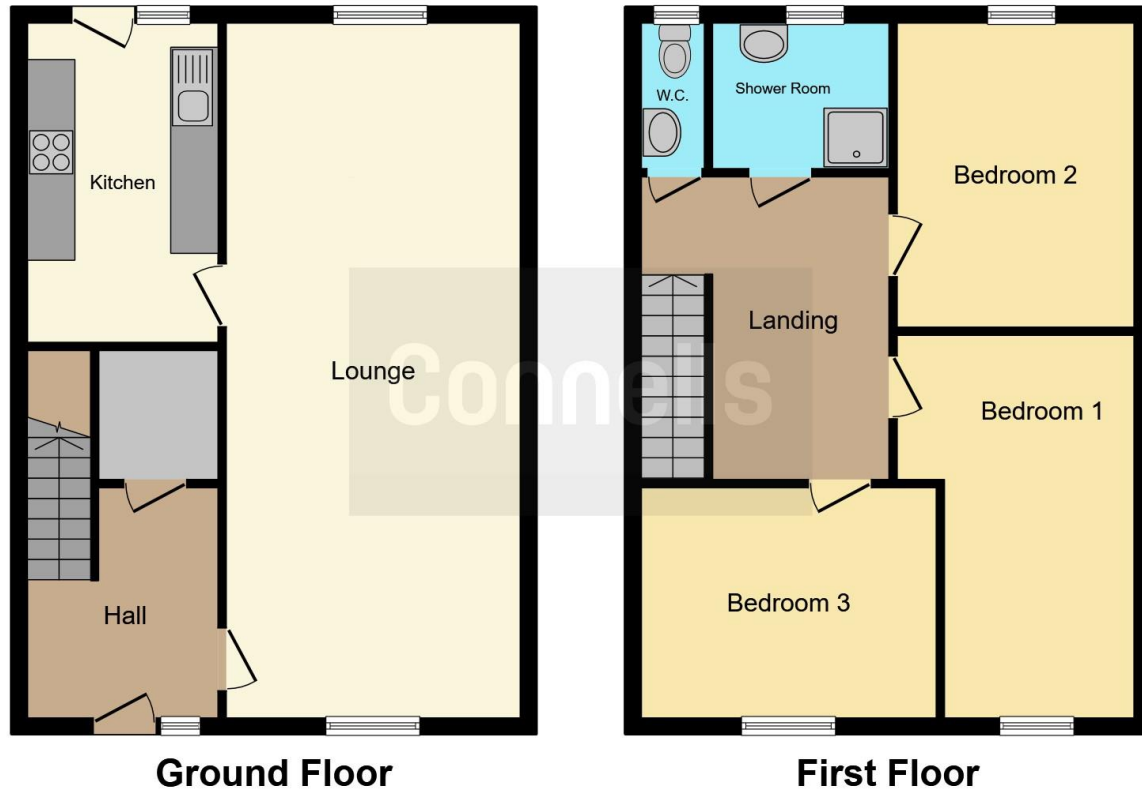












This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by [www.focalagent.com](http://www.focalagent.com)

To view this property please contact Connells on

**T 0121 552 2671**  
**E [oldbury@connells.co.uk](mailto:oldbury@connells.co.uk)**

70-76 Birmingham Street  
 OLDBURY B69 4EB

**EPC Rating: C**

Tenure: Freehold

**view this property online [connells.co.uk/Property/OLD311431](http://connells.co.uk/Property/OLD311431)**



1. MONEY LAUNDERING REGULATIONS Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in agreeing the sale. 2. These particulars do not constitute part or all of an offer or contract. 3. The measurements indicated are supplied for guidance only and as such must be considered incorrect. Potential buyers are advised to recheck measurements before committing to any expense. 4. We have not tested any apparatus, equipment, fixtures, fittings or services and it is in the buyers interest to check the working condition of any appliances.

Connells Residential is registered in England and Wales under company number 1489613, Registered Office is Cumbria House, 16-20 Hockliffe Street, Leighton Buzzard, Bedfordshire, LU7 1GN. VAT Registration Number is 500 2481 05.

**See all our properties at [www.connells.co.uk](http://www.connells.co.uk) | [www.rightmove.co.uk](http://www.rightmove.co.uk) | [www.zoopla.co.uk](http://www.zoopla.co.uk)**

Property Ref: OLD311431 - 0005