



3 CRESSINGTON COURT, BOURNE END
PRICE: £750,000 FREEHOLD

am ANDREW
MILSON

**3 CRESSINGTON COURT
BOURNE END
BUCKS SL8 5SW**

PRICE: £750,000 FREEHOLD

An executive style detached four bedroom property situated within a level walk of Bourne End village centre.

**PRIVATE REAR GARDEN:
FOUR BEDROOMS – ONE WITH ENSUITE
SHOWER ROOM: FAMILY BATHROOM:
CLOAKROOM: ENTRANCE HALL:
LIVING/DINING ROOM:
KITCHEN/BREAKFAST ROOM:
GAS CENTRAL HEATING TO RADIATORS:
DOUBLE GLAZING: GARAGE:
DRIVEWAY PARKING. WALKING
DISTANCE OF VILLAGE CENTRE.**

TO BE SOLD: this attractive four bedroom detached family home sits on a private development of just four houses offering modern and spacious accommodation throughout which comprises kitchen/breakfast room, living/dining room, cloakroom, four bedrooms – one with ensuite shower room, family bathroom, garage, private rear garden and ample driveway parking. The property is situated within a level walk of Bourne End village centre which has a comprehensive range of shopping facilities for day to day needs, doctor's surgery and post office, schooling in the area is highly regarded. There is a branch line railway station linking, via Maidenhead, to London Paddington which links to the Elizabeth Line. The nearby Marlow Bypass enables swift motor access to the M4 and M40 motorways at Maidenhead Thicket and High Wycombe respectively. The accommodation comprises:

Upvc from door to **ENTRANCE HALL** stairs to First Floor Landing with storage under, radiator.



KITCHEN/BREAKFAST ROOM fitted with a range of wall and base units, electric oven with gas hob and cooker hood over, space and plumbing for washing machine, stainless steel one and a quarter sink and drainer, integrated fridge and freezer, integrated dishwasher, wall mounted gas central heating boiler, double glazed window to front, double glazed door into side access, radiator and tiled floor.

CLOAKROOM low level w.c., wall mounted hand wash basin, radiator, double glazed frosted window to side.



LIVING/DINING ROOM with double glazed window to rear, double glazed patio doors opening onto rear garden, two radiators, inset gas fire with stainless steel surround and timber mantel, television aerial point.

FIRST FLOOR

LANDING with access into loft space, cupboard housing lagged cylinder.



BEDROOM ONE double glazed window to front, fitted wardrobe and radiator.

ENSUITE SHOWER ROOM suite comprising enclosed shower cubicle with wall mounted shower unit, pedestal hand wash basin, low level w.c., radiator, part tiled walls, double glazed frosted window.



BEDROOM TWO double glazed window to front, radiator.

BEDROOM THREE double glazed window to rear, radiator and fitted wardrobe.

BEDROOM FOUR double glazed window to rear, radiator.



FAMILY BATHROOM fitted suite comprising panel bath with mixer taps and shower attachment, low level w.c., pedestal hand wash basin, radiator, double glazed frosted window, part tiled walls.

OUTSIDE

TO THE FRONT is an area laid to lawn with block pavior driveway providing off street parking for several cars, gated side access to

THE REAR GARDEN which is mainly laid to lawn with timber fence panel surround and area of patio to the rear of the property, timber storage shed.

GARAGE metal up and over door, power and light.

BOU1060324 **EPC BAND: TBC**

COUNCIL TAX BAND: F

VIEWING Please contact our Bourne End office bourneend@andrewmilsom.co.uk or 01628 522 666.

DIRECTIONS: using the postcode **SL8 5SW** the subject property will be found straight ahead as you enter Cressington Court.

MONEY LAUNDERING REGULATIONS:

Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in progressing a sale.

For clarification we would wish to inform prospective purchasers that we have prepared these particulars as a general guide. These particulars are not guaranteed nor do they form part of any contract. We have not carried out a detailed survey, nor tested

the services, appliances and specific fittings. Room sizes should not be relied upon for carpets, fixtures and fittings.

Letting and Management: We offer a comprehensive range of services for landlords. Please call **01628 816590** for further details.



Approximate Gross Internal Area
Ground Floor = 46.1 sq m / 496 sq ft
First Floor = 58.5 sq m / 630 sq ft
Garage = 10.3 sq m / 111 sq ft
Total = 114.9 sq m / 1,237 sq ft

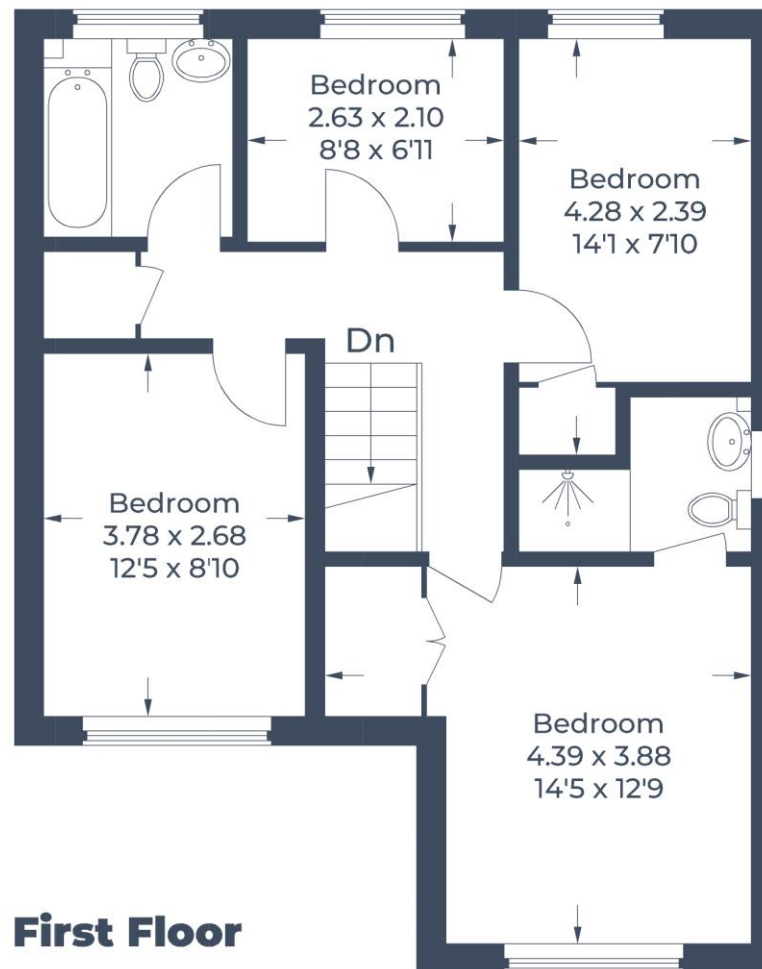
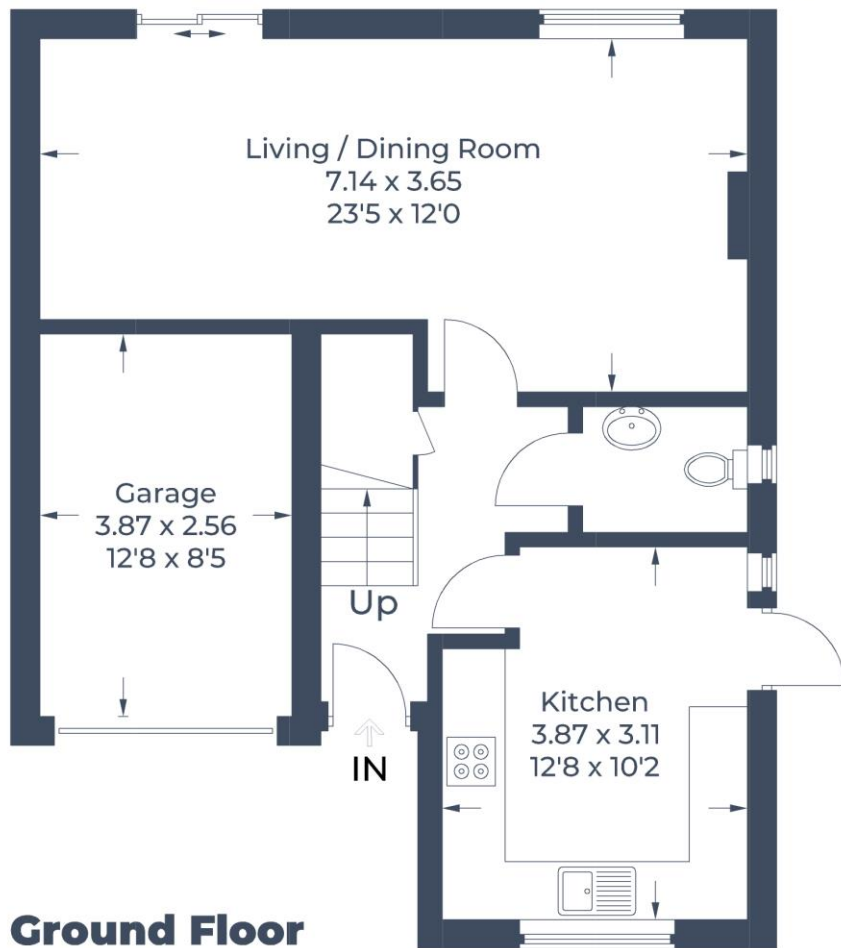


Illustration for identification purposes only,
measurements are approximate, not to scale.
© CJ Property Marketing Produced for Andrew Milsom