



57 NEW ROAD, BOURNE END
PRICE: £495,000 FREEHOLD

am ANDREW
MILSON

**57 NEW ROAD
BOURNE END
BUCKS SL8 5BT**

PRICE: £495,000 FREEHOLD

A spacious two bedroom semi-detached bungalow situated towards the end of a popular road within walking distance of Bourne End village centre.

PRIVATE FRONT & REAR GARDENS:

TWO BEDROOMS:

GROUND FLOOR BATHROOM:

THROUGH LIVING/DINING ROOM:

KITCHEN/BREAKFAST ROOM:

UTILITY ROOM: DOUBLE GLAZING:

GAS CENTRAL HEATING TO RADIATORS:

DETACHED GARAGE:

DRIVEWAY PARKING.

**WALKING DISTANCE OF VILLAGE
CENTRE. NO ONWARD CHAIN.**

TO BE SOLD: offered for sale with the benefit of having no onward chain, this conveniently located two bedroom semi-detached chalet style bungalow offers spacious and well-proportioned accommodation to both ground and first floors. The property offers scope for enlargement, subject to the usual consents and comprising a large bay fronted through living/dining room, ground floor bathroom, two double bedrooms, kitchen/breakfast room and utility room, driveway parking and private front and rear gardens. Bourne End village centre which has a comprehensive range of shopping facilities for day to day needs, doctor's surgery and post office, schooling in the area is highly regarded. There is a branch line railway station linking, via Maidenhead, to London Paddington which links to the Elizabeth Line. The nearby Marlow Bypass enables swift motor access to the M4 and M40 motorways at Maidenhead Thicket and High Wycombe respectively. The accommodation comprises:

Timber front door to **ENTRANCE HALL** with fitted storage cupboard.



LIVING/DINING ROOM two double glazed bay windows to front, two radiators, inset feature fireplace with masonry surround, television aerial point.

GROUND FLOOR BATHROOM fitted suite comprising panel bath with mixer taps and wall mounted shower unit, pedestal hand wash basin, low level w.c., double glazed frosted window, heated towel rail, part tiled walls.



KITCHEN comprising a range of wall and base units with space for fridge freezer, gas hob with cooker hood over and electric oven, stainless steel one and a quarter sink and drainer, space and plumbing for washing machine, wall mounted gas central heating boiler, radiator, stairs to First Floor Landing, double glazed window to side and door opening to

UTILITY ROOM with double glazed windows to side and rear, fitted wall and base storage units, double glazed door to rear garden.



BEDROOM TWO double glazed window to rear, radiator, wall of fitted wardrobes, cupboard housing lagged hot water cylinder.

FIRST FLOOR

LANDING double glazed window to side, fitted storage cupboard.



BEDROOM ONE double glazed window to front, wall of fitted wardrobes, radiator, television aerial point, access into eaves storage, vanity unit with sink over and storage under with mixer taps.

OUTSIDE

TO THE FRONT is a private level garden mainly laid to lawn with well stocked borders and beds with timber fence panel and dwarf brick wall surround with driveway providing off street parking for several cars which extends to the side to

THE REAR GARDEN which is also mainly laid to lawn with areas of raised beds and pond with mature shrub borders and beds, timber framed storage shed and greenhouse, area of raised patio to the rear of the property.

SINGLE GARAGE with double doors to front.

BOU1020224 **EPC BAND: E**

COUNCIL TAX BAND: E

VIEWING Please contact our Bourne End office bourneend@andrewmilsom.co.uk or 01628 522 666.

DIRECTIONS: using the postcode **SL8 5BT** the subject property will be found towards the top of New Road on the left hand side.

MONEY LAUNDERING REGULATIONS:

Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in progressing a sale.

Attfield James Financial Management can guide you through the Mortgage maze. Part of the Fairstone Group with access to the whole mortgage market including later life mortgages and equity release. They also advise on insurances, pensions and investments. 01628 623 600.

allan@attfieldjamesfm.co.uk

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Your home is at risk if you do not maintain mortgage payments or a loan secured on it.

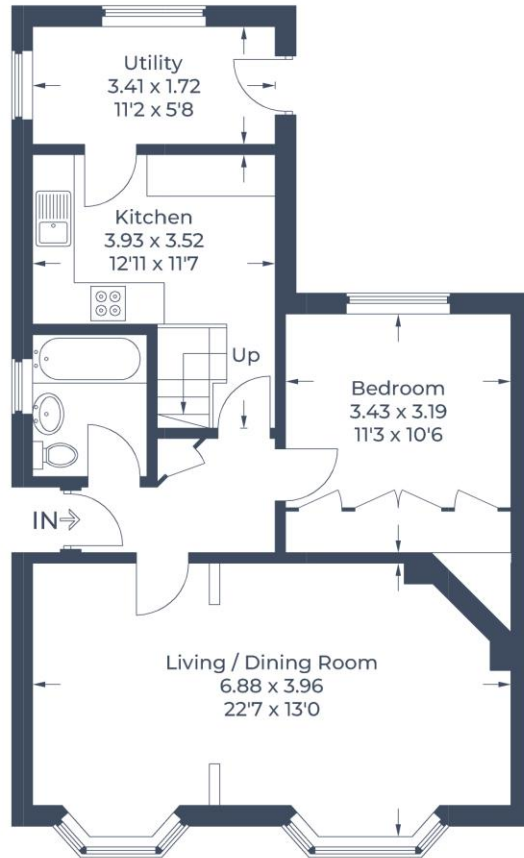
For clarification we would wish to inform prospective purchasers that we have prepared these

particulars as a general guide. These particulars are not guaranteed nor do they form part of any contract. We have not carried out a detailed survey, nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets, fixtures and fittings.

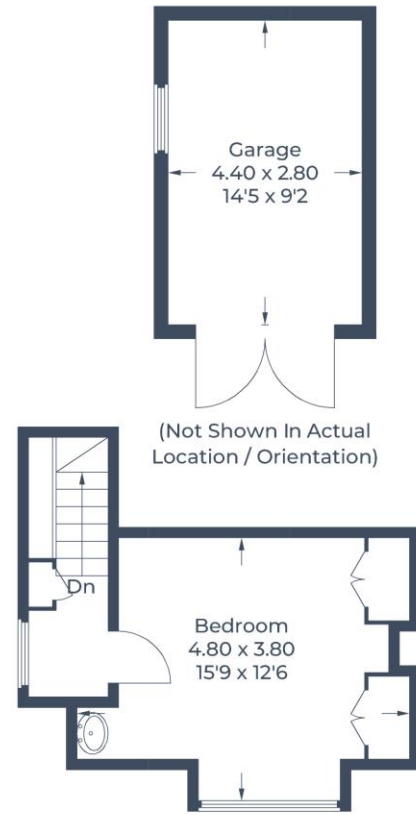
Letting and Management: We offer a comprehensive range of services for landlords. Please call **01628 816590** for further details.



Approximate Gross Internal Area
Ground Floor = 64.3 sq m / 692 sq ft
First Floor = 19.6 sq m / 211 sq ft
Garage = 12.3 sq m / 132 sq ft
Total = 96.2 sq m / 1,035 sq ft



Ground Floor



First Floor

Illustration for identification purposes only,
measurements are approximate, not to scale.

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