



134 BURNHAM LANE, SLOUGH
PRICE: £880,000 FREEHOLD



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SLOUGH
BERKS SL1 6LY**

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A spacious detached family home situated on a popular road within walking distance of Burnham railway station.

**90' PRIVATE REAR GARDEN:
THREE DOUBLE BEDROOMS:
FAMILY BATHROOM: CLOAKROOM:
ENTRANCE HALL: FAMILY ROOM:
LIVING ROOM: KITCHEN:
DINING ROOM/CONSERVATORY:
STUDY: SUMMER HOUSE/GARDEN ROOM:
GAS CENTRAL HEATING TO RADIATORS:
DOUBLE GLAZING: DRIVEWAY PARKING:
INTEGRAL GARAGE: BASEMENT ROOM.
POTENTIAL TO EXTEND TO CREATE A
SUBSTANCIAL DETACHED HOME S.T.P.P.**

TO BE SOLD: this impressive detached 1930's home has been extended and improved over the years to provide spacious and well-proportioned accommodation which comprises of family room, living room, kitchen, dining room/orangery, study, three double bedrooms, refitted family bathroom, level 90' rear garden with summer house to the rear, ample off street parking, integral single garage and basement room. The property is located within walking distance of Burnham railway station which provides access to London via Paddington and also the Elizabeth Line and is a short drive from Burnham village centre which has an array of independent shops, the Burnham Health Centre and of course Burnham Grammar School amongst others. There are excellent local transport links with rapid access to the M4 and M25 motorway networks. The accommodation comprises:

Double glazed door to **ENTRANCE PORCH** with fitted coat and shoe storage, double glazed front door to

ENTRANCE HALL stairs to First Floor Landing, tiled floor, radiator.

CLOAKROOM comprising low level w.c., heated towel rail, vanity unit with sink over and storage under, double glazed frosted window, fully tiled walls and floor.



FAMILY ROOM double glazed bay window to front, radiator, fitted wall mounted storage cupboard, television aerial point.



LIVING ROOM double glazed window, radiator and television aerial point, open fireplace with cast iron surround and timber mantel.



KITCHEN fitted with a range of wall and base units with solid surfaces over, larger storage cupboard with double glazed frosted window, wall mounted gas central heating boiler, ceramic sink with mixer taps and filter tap, space and plumbing for dishwasher and washing machine, radiator, space for American fridge freezer, seven ring burner Range with electric oven and cooker hood over, tiled floor, double glazed window to rear.



DINING ROOM/CONSERVATORY double glazed windows to rear, double glazed roof, two radiators and tiled flooring.

STUDY double glazed window to rear, tiled flooring, double glazed door to

INTEGRAL GARAGE with metal up and over door, power and light.

FIRST FLOOR

LANDING double glazed window to side, cupboard housing lagged cylinder and double glazed window to side, access into loft space.



BEDROOM ONE double glazed window to rear, radiator, wall of fitted wardrobes and television aerial point.



BEDROOM TWO double glazed window to front, wall of fitted wardrobes, radiator.

BEDROOM THREE double glazed window to rear, television aerial point and radiator.



FAMILY BATHROOM suite comprising enclosed shower cubicle with wall mounted shower unit, low level w.c., roll top bath with mixer taps and shower attachment, vanity unit with sink over and storage under, heated towel rails, fitted bathroom cabinet, fully tiled walls and floor, double glazed frosted window.

OUTSIDE

TO THE FRONT is a driveway providing off street parking for several cars with electric gates, dwarf brick wall and railings with mature hedge surround and gated side access to

THE REAR GARDEN which is an easterly facing level garden measuring approximately 90' (27.43m) which is mostly laid to lawn with area of decking to rear, pergola with area of raised decking, mature hedge and fence panel surround, mature shrub borders and beds.

SUMMER HOUSE timber framed building for the entire width of the garden with part storage and part gym room with power and light.

BASEMENT ROOM accessed via steps down from the Dining Area with corridor leading to Basement Room and escape hatch.

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COUNCIL TAX BAND: F

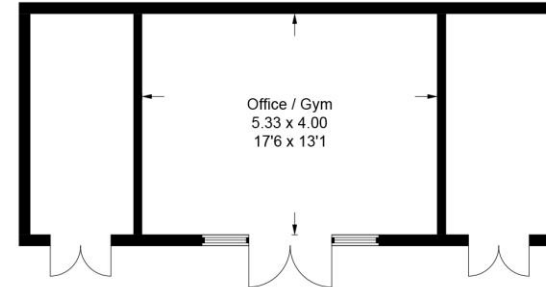
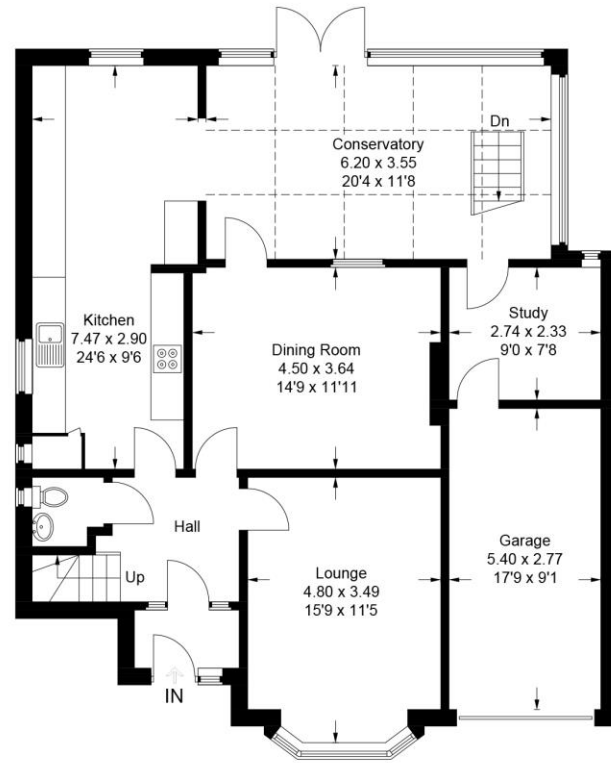
VIEWING Please contact our Bourne End office bourneend@andrewmilsom.co.uk or 01628 522 666.

MONEY LAUNDERING REGULATIONS: Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in progressing a sale.

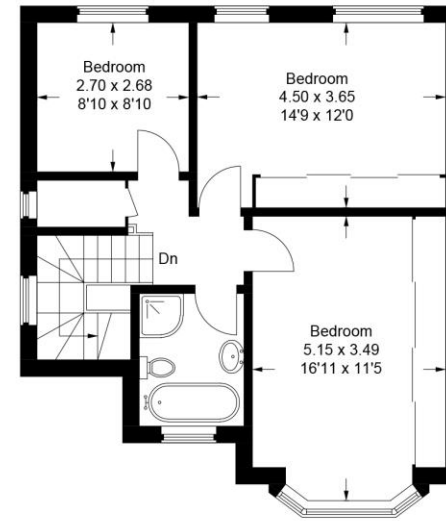
For clarification we would wish to inform prospective purchasers that we have prepared these particulars as a general guide. These particulars are not guaranteed nor do they form part of any contract. We have not carried out a detailed survey, nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets, fixtures and fittings.



Approximate Gross Internal Area
 Cellar = 24.3 sq m / 261 sq ft
 Ground Floor = 113.2 sq m / 1218 sq ft
 First Floor = 55.7 sq m / 599 sq ft
 Outbuilding = 37.6 sq m / 405 sq ft
 Total = 230.8 sq m / 2483 sq ft



(Not Shown In Actual Location / Orientation)



This plan is for layout guidance only. Not drawn to scale unless stated. Windows and door openings are approximate. Whilst every care is taken in the preparation of this plan, please check all dimensions, shapes and compass bearings before making any decisions reliant upon them.

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