



**THORESBY ROAD, NORTH COTES, DN36**  
**ASKING PRICE £315,000**







TES Property bring to market this delightful detached property located in the popular village of North Cotes, situated between the towns of Louth and Grimsby. Standing on a generous plot with uninterrupted views out to open fields to the rear and side with a sizeable secure rear garden and garden with parking to the front.

Internally comprising an entrance hallway, lounge, open plan kitchen lounge diner, gym/ dining room, downstairs shower room and rear lobby. To the first floor there are four bedrooms and a three piece suite bathroom.

Internal viewing is highly advised to appreciate all this property has to offer.



## Location - North Cotes

North Cotes is a semi-rural village approximately 12 miles from Louth, 11 miles from Grimsby and 40 miles from Lincoln.

RAF North Cotes was opened during the First World War, and closed in June 1919. It reopened in 1927 as an Armament Practice Camp, and during the Second World War was operated by Coastal Command. Post-war it was home to several Maintenance Units, but in 1963 it became Britain's first Bloodhound surface-to-air missile site. It was closed in 1990. From 1992 various sections of the airfield and buildings were sold off. It is now home to the North Cotes Flying Club.

It is well serviced, including North Cotes C of E Primary School, a grade II listed church and North Cotes Butts Rifle Club, As well as a well-supported village hall, snooker club and playing fields, which holds events such as quiz nights and bingo.

There are some pleasant walks nearby including, up to Cleethorpes beach, Tetney Marsh's and the windmill loop from Tetney.

## School Catchment Area

This property is in the catchment area for many primary schools, including The North Cotes Church of England Primary School, Fulstow Church of England Primary School and Tetney Primary School.

As well as a few secondary schools, including Humberston Academy and Cleethorpes Academy.

## Entrance Hallway

Welcoming entrance hall with front door with glass panel to the side, laminate flooring, uPVC double glazed window to the side, radiator, smoke alarm and dado rail. Doors lead into the lounge and kitchen and a staircase to the first floor with a useful understair storage cupboard.

## Open Plan Kitchen Lounge Diner

### Lounge Diner

22'0" x 11'4"

Bright and airy space with uPVC double glazed windows to the rear and side with uPVC patio doors to the rear garden and radiator.

### Kitchen

8'11" x 20'9"

Fitted with a range of wall, base and drawer units with worktop over, one bowl stainless steel sink unit with drainer, tiled splashbacks, space for oven and fridge freezer and further under counter space for washing machine and dishwasher, uPVC double glazed window to the side and radiator. Doors lead into the rear lobby and gym.

## Gym / Dining Room

14'0" x 11'0"

Multiuse room which is currently being used as a home gym but could make a perfect work from home space, snug or additional dining area, with uPVC double glazed windows to the front and side and a radiator.

## Lounge

11'7" x 14'6"

With laminate flooring, uPVC double glazed windows to the front and side, open fireplace and radiator.

## Rear Lobby

L - shape room with uPVC door to the side, uPVC double glazed window to the rear and door into shower room.

## Shower Room

4'10" x 6'11"

Fitted with a three piece suite consisting of a shower cubicle with glass door, W.C and wash hand basin, tiled splashbacks, extractor and tiled flooring.

## Landing

With access to all first floor rooms, smoke alarm, dado rail and loft access hatch.

## Bedroom 1

11'0" x 14'0"

Double bedroom with uPVC double glazed windows to the front, rear and side, there is a built in storage cupboard, loft access hatch, radiator and laminate flooring.

## Bedroom 2

9'4" x 11'8"

Double bedroom with uPVC double glazed windows to the front and side, wooden flooring and radiator.

## Bedroom 3

8'10" x 10'8"

Double bedroom with uPVC double glazed window to the rear, fitted shelving and radiator.

## Bedroom 4

11'3" (max) x 11'6" (max)

Single bedroom with uPVC double glazed window to the front and radiator.

## Bathroom

9'10" x 5'5"

Fitted with a three piece suite consisting of a corner bath, W.C and wash hand basin, partly tiled walls, uPVC double glazed privacy glass window to the rear and radiator.

## Rear Garden

The sizeable rear garden is mostly laid to lawn and secured with fencing and hedging to the boundary with a secure pedestrian gateway to either side of the property leading to the front. The garden also features a wooden shed, outside tap, oil tank and the free standing oil fired boiler.

## Front Garden & Driveway

The property is fronted with a gravelled driveway providing off road parking with an area either side which is laid to lawn.

## Services

Mains water, drainage and electricity are understood to be connected. The property has oil fired central heating. The agents have not tested or inspected the services or service installations and buyers should rely on their own survey.

## Tenure

The property is believed to be freehold and we await solicitors confirmation.

## Total Floor Area

147m<sup>2</sup> / 1,583ft<sup>2</sup>

## Council Tax Band

East Lindsey Council Tax Band C

## Brochure Prepared

July 2024

## Viewings

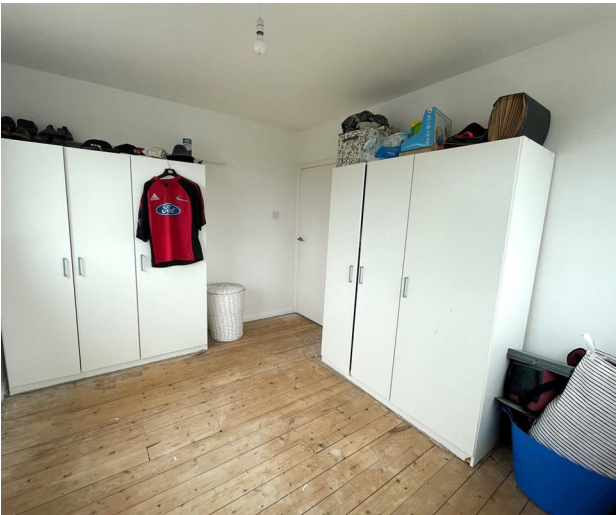
By prior appointment through TES Property office in Louth 01507 601633 [admin.louth@tes-property.co.uk](mailto:admin.louth@tes-property.co.uk)

## Opening Hours

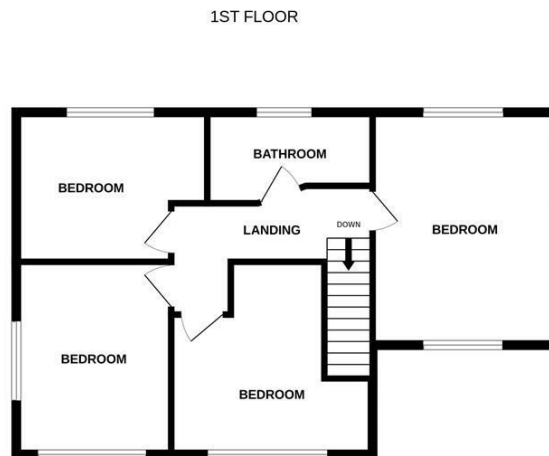
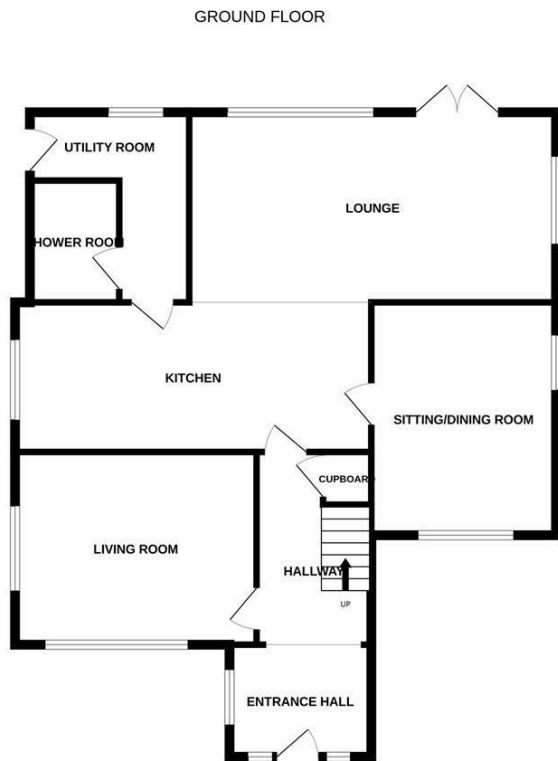
Monday to Friday 9:00am to 5:00pm

Saturday 9:00am to 1:00pm









Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F		56	68
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO <sub>2</sub> emissions			
England & Wales		EU Directive 2002/91/EC	



To the agents knowledge these particulars have been prepared with information provided by the current owner and following the agents inspection, intended to give a fair and reliable description of the property, but no responsibility for any inaccuracy or errors can be accepted by the agent and do not constitute to an offer or contract. The agent has not tested any services or appliances referred to in these particulars, and any purchaser is advised to satisfy themselves as to the working order as or condition to the appliances. all measurements within these particulars are approximate.

