



PLOT 12, ROMAN WAY, LOUTH, LN11
ASKING PRICE £695,000



TES Property bring to the market this exclusive detached property built by the well known Jim Fairburn Ltd, as part of the Highfields development in Louth, Lincolnshire. The property is ideally nestled in the popular west side of town close to all local amenities.

The property comprises an entrance hallway, W.C, living room, dining kitchen, garden room, study and utility to the ground floor. The first floor consists of four spacious double bedrooms with a en-suite and dressing room to bedrooms 1 and 3, an en-suite to bedroom 2, along with an additional family bathroom. Standing on a generous plot with front and rear gardens, driveway and garage.

With an allowance in place enabling you to choose your dream kitchen, bathrooms and tiling throughout! Book your viewing in now to reserve this impressive family home.



Location - Louth

The historic market town of Louth; fondly known as the 'Capital of the Wolds' and beautifully positioned in an Area of Outstanding Natural Beauty is approximately 15 miles from the coast, 16 miles from Grimsby and 30 miles from Lincoln.

It has a wealth of local services and amenities to offer. Popular points of interest include the 'people's park' of Hubbard Hills and Westgate Fields, the last remaining Lincolnshire Cattle Market and the spectacular St James' Church, boasting the tallest medieval parish church spire of approx 287 feet /87.6 m. Other features include Louth Golf Course and Kenwick Park Golf Course, Louth Tennis Centre, London Road Sports Pavilion, Riverhead Theatre, Playhouse Cinema, Louth Museum, Kenwick Park Gym and Spa and Meridian Leisure Centre. As well as excellent local schools including King Edward's VI Grammar School, a doctors surgery and a hospital. Louth is particularly well known for its vast array of independent shops, butchers and delicatessens, thrice weekly markets and the New Market Indoor Hall all offering outstanding local produce as well as three supermarkets; Morrisons, Co-Op and Aldi.

School Catchment Area

This property is in the catchment area for many primary schools, including St Michael's Church of England School, Louth Kidgate Primary Academy, North Cockerington Church of England Primary School and Grimoldby Primary School.

As well as 2 secondary schools, Louth Academy & King Edward VI Grammar School.

Specification

Jim Fairburn Ltd have advised that the property will include the following specifications:

Internally:

- Composite front doors, uPVC double glazed windows throughout
- Oak staircases
- Intruder Alarm systems
- £50,000 allowance for Kitchen, bathrooms and tiling (subject to discussions with the developer)
- Ground floor underfloor heating system

Externally:

- Block paved driveway
- Paths and patio areas in Indian Sandstone
- Saxon multi bricks and red clay pantiles

Development

Located within the west side of the popular market town of Louth, this exclusive development is accessed off Meridian View, a popular residential area and is located within close proximity to the town centre and all of its amenities. This sought after development offers a range of exclusive properties, all built to a high specification throughout and include a 10 year warranty.

About the Developer

Jim Fairburn Ltd is a well known building and developer specialist in Louth, established for over 40 years providing quality properties throughout Louth.

A variety of popular developments in Louth such as Highfields, Cullingford Way and many more, all built to a high standard throughout and designed to accommodate all your wants and needs.

Hallway

Spacious hall providing access to the living room, study, kitchen diner and W.C. A staircase leads to the first floor landing.

Study

11'9" x 11'11"

With uPVC double glazed window to the front.

Living Room

15'9" 15'11"

With feature fireplace and uPVC double glazed window to the front and rear.

Kitchen Diner

21'5" (max) x 17'6" (max)

With an allowance in place for you to choose a range of kitchen units. There is ample dining space and bi-folding doors to the side. A door leads into the utility.

Utility

7'11" x 11'9"

With a range of fitted units and a door to the side.

Garden Room

17'6" x 10'5"

With vaulted ceiling, uPVC double glazed windows to the side and rear and a patio door to the side.

W.C

Fitted with a W.C and wash hand basin.

Landing

L- shape landing with access to all bedrooms and the bathroom.

Bedroom 1

12'3" x 17'2"

With dressing area and door into en-suite, uPVC double glazed window to either side and a balcony.

En-suite

8'10" x 7'9"

Fitted with a three piece suite consisting of a shower cubicle, W.C and wash hand basin.

Dressing Area

8'10" x 4'9"

Bedroom 2

15'11" x 11'9"

With door into en-suite and uPVC double glazed window to the front.

En-suite

6'2" x 7'11"

Fitted with a three piece suite consisting of a bath, W.C and wash hand basin.

Bedroom 3

15'11" x 11'2"

With door into dressing room and uPVC double glazed window to the rear.

Dressing Area

10'8" x 13'8"

With uPVC double glazed window to the rear and door into en-suite.

En-suite

7'6" x 13'8"

Fitted with a three piece suite consisting of a bath, W.C and wash hand basin and uPVC double glazed window to the front.

Bedroom 4

15'11" x 9'5"

With uPVC double glazed window to the front.

Bathroom

5'5" x 8'4"

Fitted with a three piece suite consisting of a bath, W.C and wash hand basin and uPVC double glazed window to the front.

Garage

With electric door and pedestrian access door to the rear.

Services

Mains electricity, drainage, water and BT are understood to be connected. Central heating is via an Air Source Heat Pump. The agents have not inspected or tested any of the services or service installations and purchasers should rely on their own survey.

Tenure

The property is believed to be freehold and we await solicitors confirmation.

Viewings

By prior appointment through TES Property office in Louth 01507 601633 admin.louth@tes-property.co.uk

Opening Hours

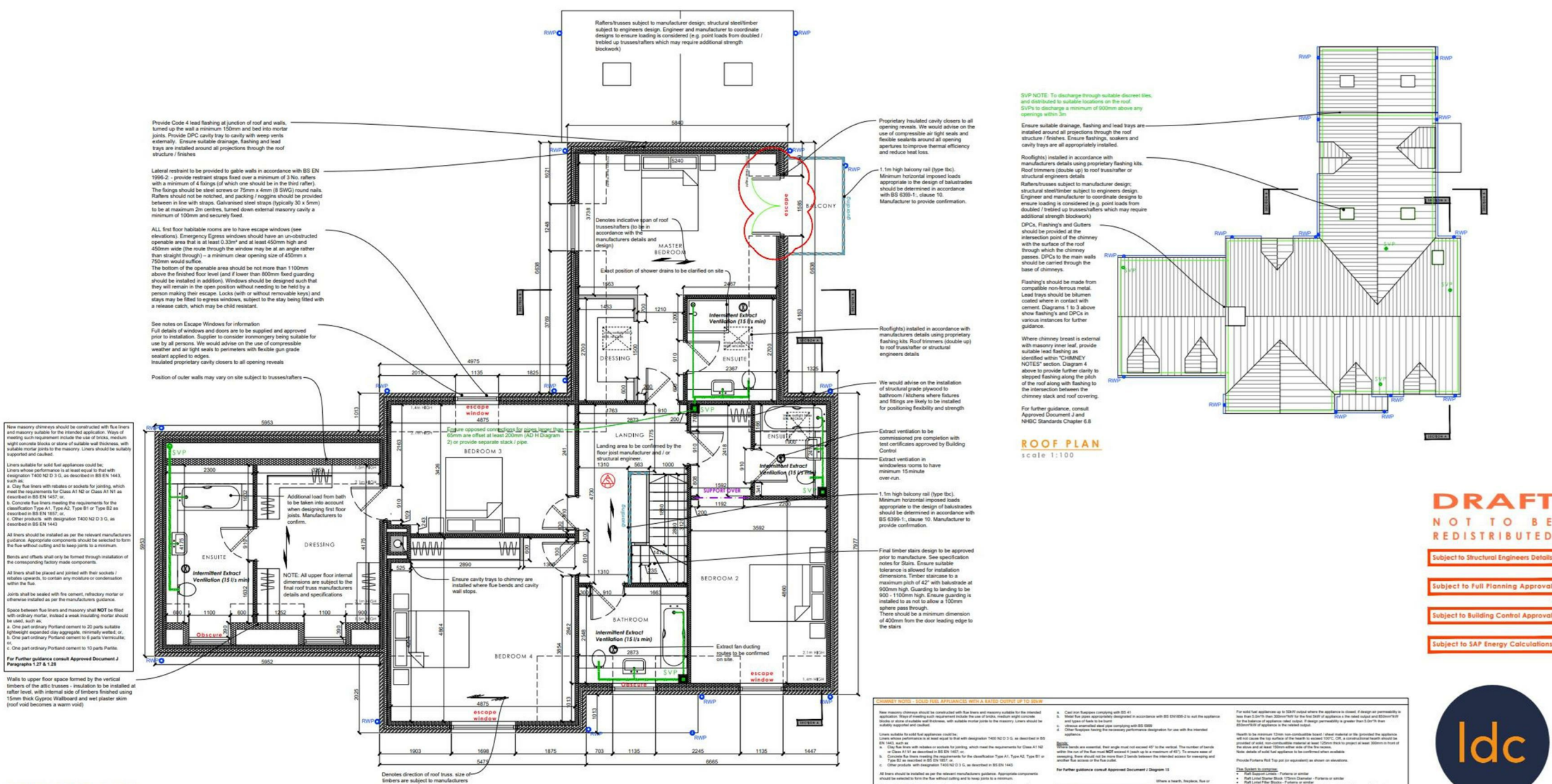
Monday to Friday 9:00am to 5:00pm

Saturday 9:00am to 1:00pm



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DRAWING ISSUES AND REVISIONS



FIRST FLOOR PLAN
scale 1:50

ROOF PLAN
scale 1:100

DRAFT
NOT TO BE
REDISTRIBUTED

Subject to Structural Engineers Details

Subject to Full Planning Approval

Subject to Building Control Approval

Subject to SAP Energy Calculations



Lincs Design Consultancy
12 Victoria Court
Louth
Lincolnshire
LN11 9PT
Tel: 01509 262222
www.lincsdesignconsultancy.co.uk

PROJECT: Residential Development, Land to the North of Julian Bower, Louth, Lincs.

DWG: June 2024
TITLE: Plot 12
FIRST Floor & Roof Plan
SCALE: 1:50 / 1:100
ORIGINAL SIZE: A1
DWG DATE: BUILDING REGULATIONS
DWG NUMBER: LDC3861-BR-31

Provide Code 4 lead flashing at junction of roof and walls, turned up the wall a minimum 150mm and bed into mortar joints. Provide DPC cavity tray to cavity with weep vents externally. Ensure suitable drainage, flashing and lead trays are installed around all projections through the roof structure / finishes.

Lateral restraint to be provided to gable walls in accordance with BS EN 1996-2 - provide restraint straps fixed over a minimum of 3 No. rafters with a minimum of 4 fixings (of which one should be in the third rafter). The fixings should be steel screws or 70mm x 4mm (Ø 50W) round nails. Rafters should not be notched, and packing / noggin should be provided between in line with straps. Galvanized steel straps (typical 20 x 5mm) to be at maximum 2m centres, turned down external masonry cavity a minimum of 100mm and securely fixed.

ALL first floor habitable rooms are to have escape windows (see elevations). Emergency Egress windows should have an unobstructed openable area that is at least 0.33m² and at least 450mm high and 400mm wide (the route through the window may be at an angle rather than straight through) - a minimum clear opening size of 450mm x 750mm would suffice.

The bottom of the operable area should be not more than 1100mm above the finished floor level (and if lower than 800mm fixed guarding should be installed in addition). Windows should be designed such that they will remain in the open position without needing to be held by a person making their escape. Locks (with or without removable keys) and stays may be fitted to egress windows, subject to the stay being fitted with a release catch, which may be child resistant.

See notes on Escape Windows for information. Full details of windows and doors are to be supplied and approved prior to installation. Supplier to consider non-masonry being suitable for use by all persons. We would advise on the use of compressible weather and an air tight seals to perimeters with flexible gun grade sealant applied to edges.

Installed proprietary cavity closers to all opening reveals.

Position of outer walls may vary on site subject to truss/rafter details.

New masonry chimneys should be constructed with flue liners and masonry suitable for the intended application. Ways of meeting this requirement include the use of brick, medium weight concrete blocks or stone of suitable wall thickness, with suitable mortar joints to the masonry. Liners should be suitably supported and secured.

Liners suitable for solid fuel appliances could be: Liners whose performance is at least equal to that with designation T400 ND D 3 G, as described in BS EN 1443, both (a) and (b).

Clay flue liners with rebates or sockets for joining, which meet the requirements for Class A1 or Class A1 (1) as described in BS EN 1443, or

Concrete flue liners meeting the requirements for the classification Type A1, Type A2, Type B1 or Type B2 as described in BS EN 13827, or

Other products with designation T400 ND D 3 G, as described in BS EN 1443.

All liners should be installed as per the relevant manufacturers guidance. Appropriate components should be selected to form the flue without cutting and to keep joints to a minimum.

Bends and offsets shall only be formed through installation of the corresponding factory made components.

All liners shall be plastered and jointed with that socket / rebate overlaps, to contain any moisture or condensation within the flue.

Joints shall be sealed with the correct, inflexible mortar or otherwise installed as per the manufacturers guidance.

Spaces between flue liners and masonry shall NOT be filled with ordinary mortar, instead a weak insulating mortar should be used, such as:

a. One part ordinary Portland cement to 20 parts suitable lightweight expanded clay aggregate, mineral wool, or;

b. One part ordinary Portland cement to 10 parts Vermiculite, or;

c. One part ordinary Portland cement to 10 parts Perlite.

For further guidance consult Approved Document J Paragraphs 1.27 & 1.28

Walls to upper floor space formed by the vertical members of the rafter truss - insulation to be installed at rafter level, with internal side of timbers finished using 15mm thick Gyproc Wallboard and wet plaster skim (roof void becomes a warm void).

FIRST FLOOR PLAN
scale 1:50

SVP NOTE: To discharge through suitable discreet bins, and distributed to suitable locations on the roof.

SVPs to discharge a minimum of 900mm above any openings within 3m.

Ensure suitable drainage, flashing and lead trays are installed around all projections through the roof structure / finishes. Ensure flashings, soakers and cavity trays are all appropriately installed.

Rooflights installed in accordance with manufacturers details using proprietary flashing kits. Roof trimmers (double up) to roof truss/rafter or structural engineers details.

Rafters/busses subject to manufacturer design; structural steel/limb subject to engineers design. Engineer and manufacturer to coordinate designs to ensure loading is considered (e.g. point loads from double / boxed up truss/rafters which may require additional strength blockwork).

DPCs, Flashings and Gutters should be provided at the intersection point of the chimney with the surface of the roof through which the chimney passes. DPCs in the main walls should be carried through the base of chimney.

Flashing should be made from compressed non ferrous metal. Lead trays should be bitumen coated where in contact with cement. Diagrams 1 to 3 above show flashings and DPCs in various instances for further guidance.

Where chimney breast is external with masonry rear lead, provide suitable lead flashing as identified within "CHIMNEY NOTES" section, Diagram 4 above to provide further clarity to stepped flashing along the pitch of the roof along with flashing to the intersection between the chimney stack and roof covering.

For further guidance, consult Approved Document J and NHBC Standards Chapter 6.8

Proprietary insulated cavity closers to all opening reveals. We would advise on the use of compressible air tight seals and flexible sealants around all opening openings to improve thermal efficiency and reduce heat loss.

1.1m high balcony rail (type Bc). Minimum horizontal imposed loads appropriate to the design of balustrades should be determined in accordance with BS 5399-1, clause 10. Manufacturer to provide confirmation.

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Extract ventilation to be commissioned pre completion with test certificates approved by Building Control.

Extract ventilation in windowless rooms to have minimum 15minute over-run.

1.1m high balcony rail (type Bc). Minimum horizontal imposed loads appropriate to the design of balustrades should be determined in accordance with BS 5399-1, clause 10. Manufacturer to provide confirmation.

Final timber stairs design to be approved prior to manufacture. See specification notes for Stairs. Ensure suitable tolerance is allowed for installation dimensions. Timber staircases to a maximum pitch of 42° with balustrade at 900mm high. Guarding to landing to be 100 - 1100mm high. Ensure guarding is installed to suit to allow a 100mm sphere pass through.

There should be a minimum dimension of 400mm from the door leading edge to the stairs.

CHIMNEY DETAIL - SOLID FUEL APPLIANCE WITH A RAINWATER PIPE TO ROOF

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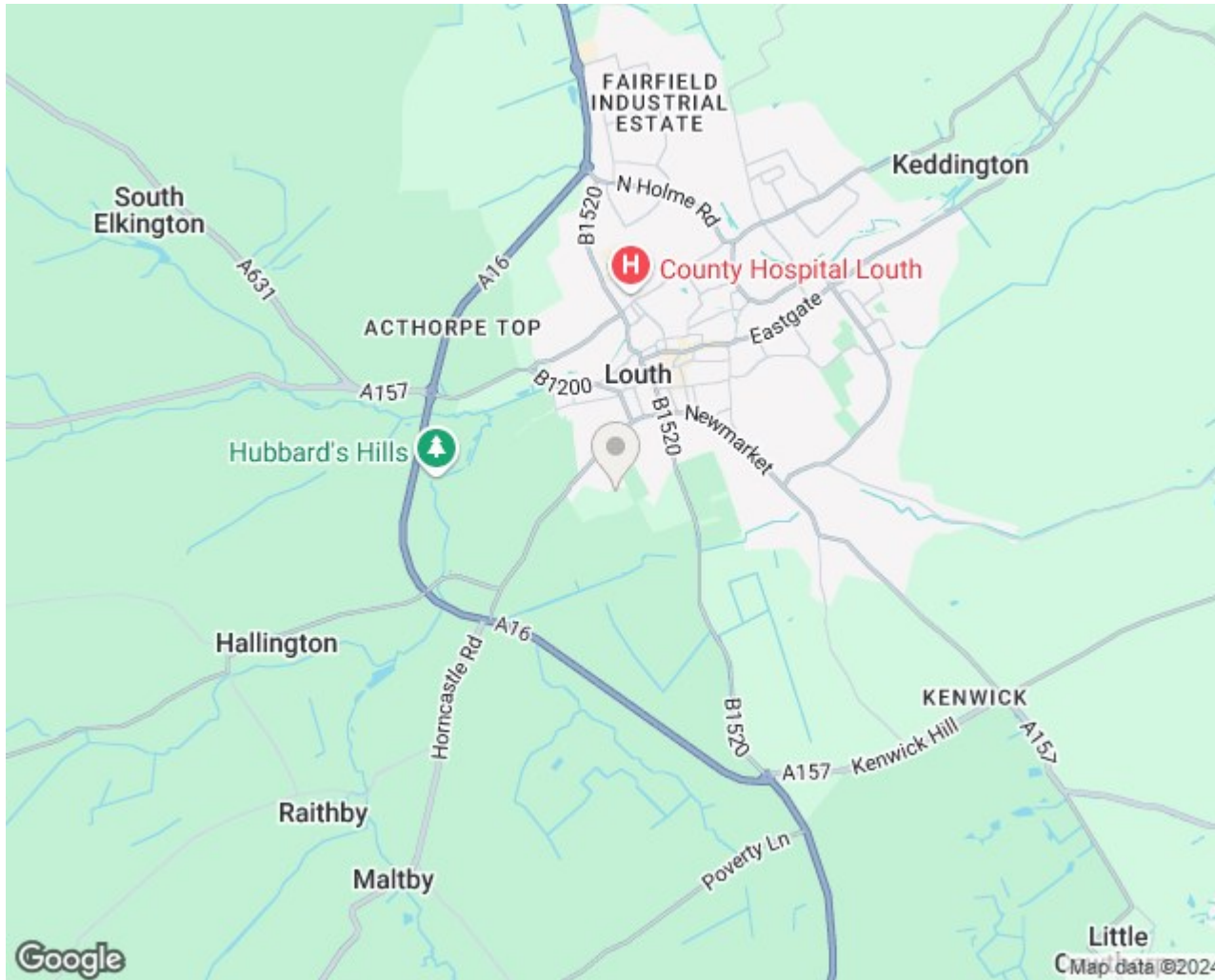
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Walls to upper floor space formed by the vertical members of the rafter truss - insulation to be installed at rafter level, with internal side of timbers finished using 15mm thick Gyproc Wallboard and wet plaster skim (roof void becomes a warm void).

For further guidance consult Approved Document J Diagram 15

Item	Description
1	1.1m high balcony rail (type Bc). Minimum horizontal imposed loads appropriate to the design of balustrades should be determined in accordance with BS 5399-1, clause 10. Manufacturer to provide confirmation.
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3	There should be a minimum dimension of 400mm from the door leading edge to the stairs.

Notes: Please refer to the relevant manufacturers details for the installation of the chimney. The chimney should be installed in accordance with the relevant manufacturers details. The chimney should be installed in accordance with the relevant manufacturers details. The chimney should be installed in accordance with the relevant manufacturers details.



Energy Efficiency Rating		Environmental Impact (CO ₂) Rating			
	Current	Potential		Current	Potential
Very energy efficient - lower running costs			Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A			(92 plus) A		
(81-91) B			(81-91) B		
(69-80) C			(69-80) C		
(55-64) D			(55-64) D		
(39-54) E			(39-54) E		
(21-38) F			(21-38) F		
(1-20) G			(1-20) G		
Not energy efficient - higher running costs			Not environmentally friendly - higher CO ₂ emissions		
England & Wales		EU Directive 2002/91/EC	England & Wales		EU Directive 2002/91/EC



To the agents knowledge these particulars have been prepared with information provided by the current owner and following the agents inspection, intended to give a fair and reliable description of the property, but no responsibility for any inaccuracy or errors can be accepted by the agent and do not constitute to an offer or contract. The agent has not tested any services or appliances referred to in these particulars, and any purchaser is advised to satisfy themselves as to the working order as or condition to the appliances. all measurements within these particulars are approximate.