



Old Filling Station, London Road, Stranraer

Stranraer, DG9 8DQ

PRICE: Offers Over £155,000 are invited

Old Filling Station, London Road

Stranraer

The land is located only a stone's throw from the shores of Loch Ryan and within striking distance of both primary/secondary schooling. All major amenities are to be found in and around the town centre, approximately 1 mile distant and include healthcare, supermarkets, and indoor leisure pool complex.

A chance to acquire a development opportunity located on the main A75 Euro Route, offering a prime location for a developer or investor looking to make their mark in the property market.

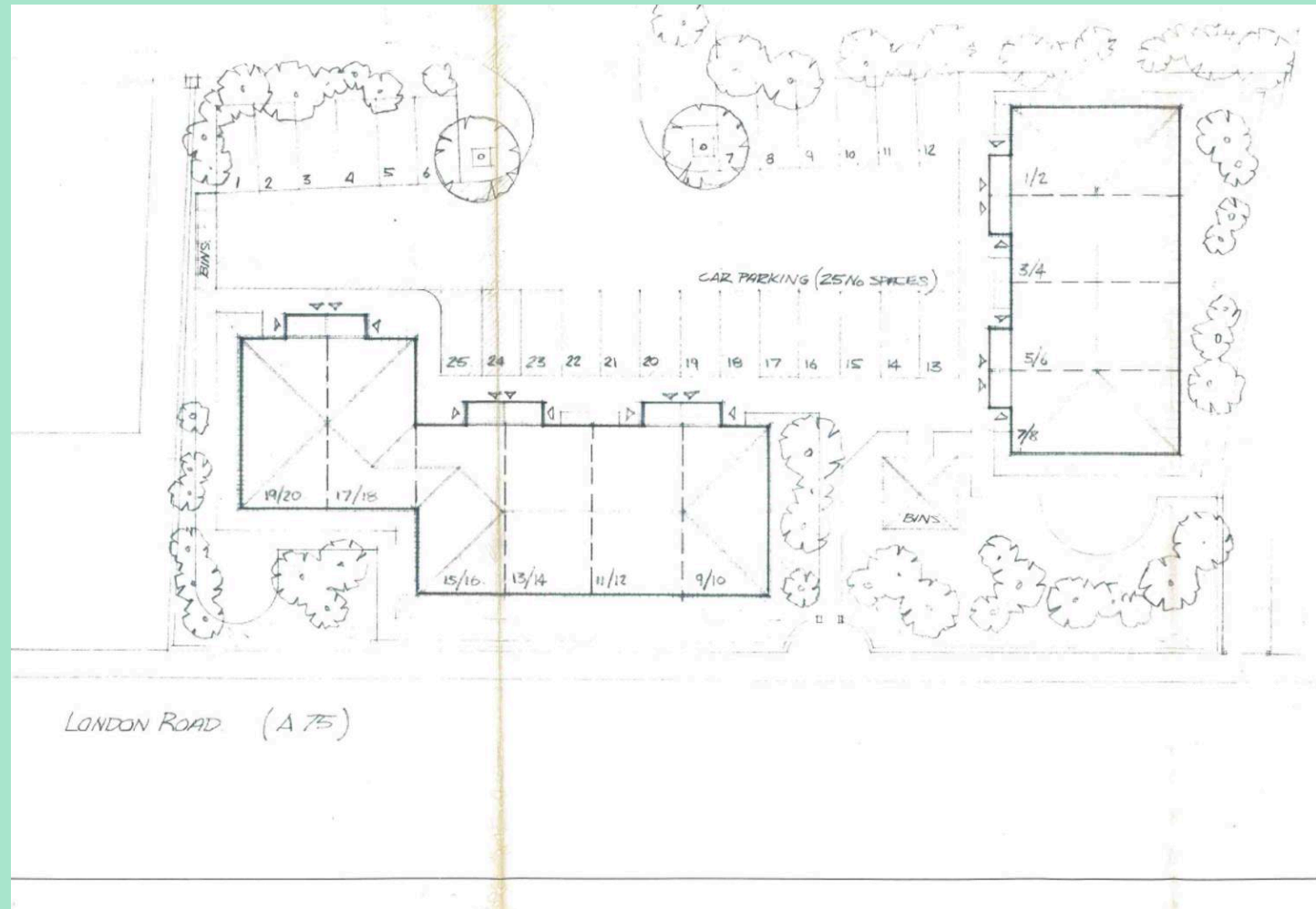
Situated at a strategic location on the main A75 Euro Route, the land presents the potential of transforming this plot into a thriving residential complex, with the previous planning permission granted for 17 flats.

The surroundings boast a mix of agricultural and residential properties, offering a dynamic setting for a new development. The proximity to the A75 Euro Route ensures easy access to major transportation links.

Council Tax band: TBD

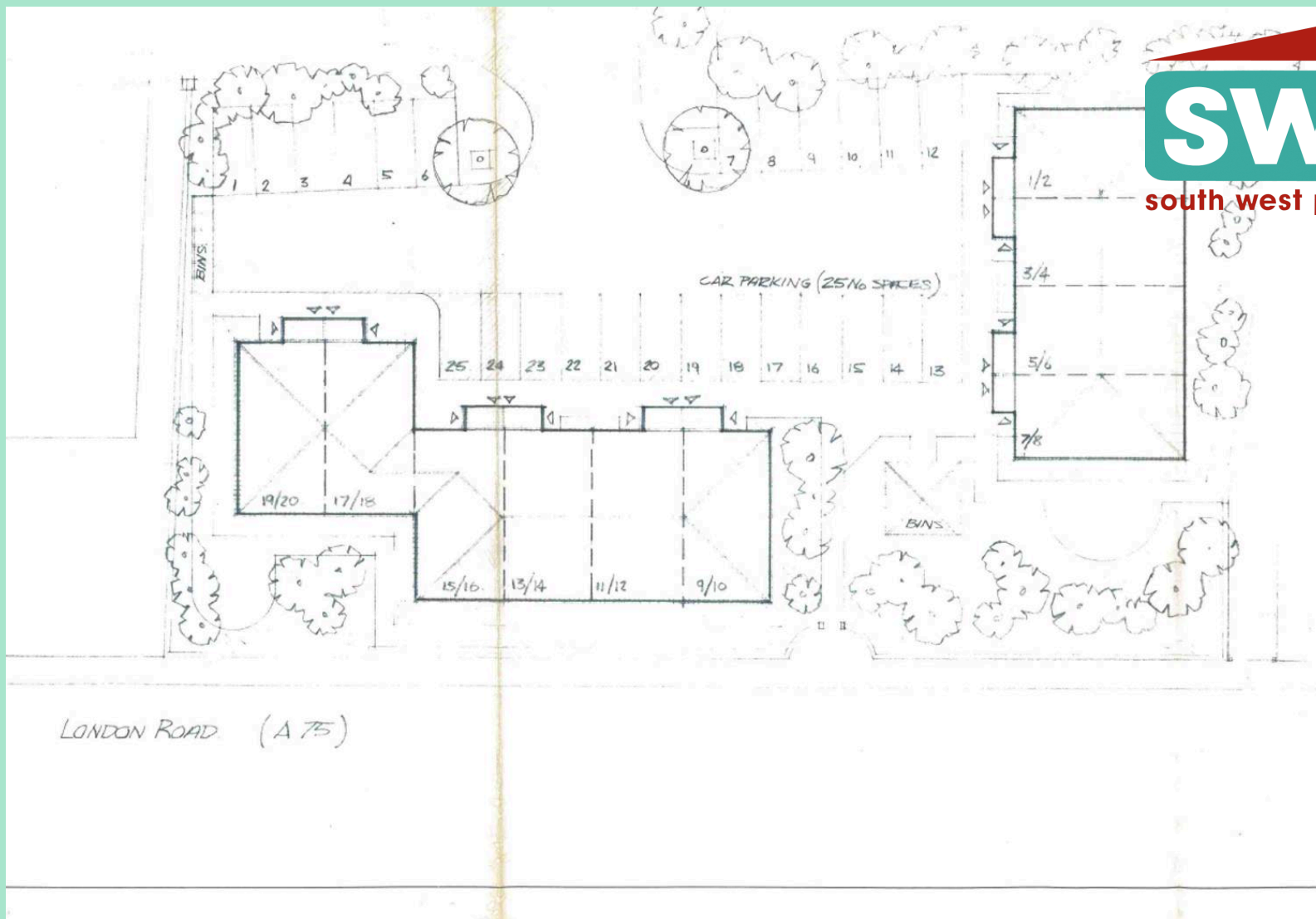
Tenure: Freehold

- Development opportunity
- Located on the main A75 Euro Route
- Previous planning permission granted for 17 flats



Conditions of Sale We have attempted to make our sales details as accurate as possible from the information we have about this property. If there is any point which is of particular importance please contact our office and we will endeavour to check the information. We would advise this course of action if prospective purchasers are travelling some distance to view the subjects of sale. All dimensions and distances etc are approximate and photographs are intended only to give a general impression. Systems are untested and appliances are sold as seen. Prospective purchasers should make their own investigations and obtain their own reports as they think necessary. The contract to sell will be based only on the concluded missives. These particulars and any other correspondence or discussions will not form part of the contract. If we can be of further assistance please do not hesitate to contact us. Pre-sale Appraisal If you are considering moving we would be delighted to carry out a pre-sale appraisal of your existing property. Terms and conditions apply. For full details contact one of our branches.





South West Property Centre Ltd

South West Property Centre, Charlotte Street - DG9 7ED

01776 706147

property@swpc.co.uk

www.southwestpropertycentre.co.uk



Please note that under the 2017 AML regulations we are legally required to carry out money laundering checks against purchasers. Upon verbal acceptance of an offer, we require to identify the purchaser for Anti-Money Laundering purposes. Our integrated providers will carry out the necessary checks. Failure to provide required identification may result in an offer not being considered.