

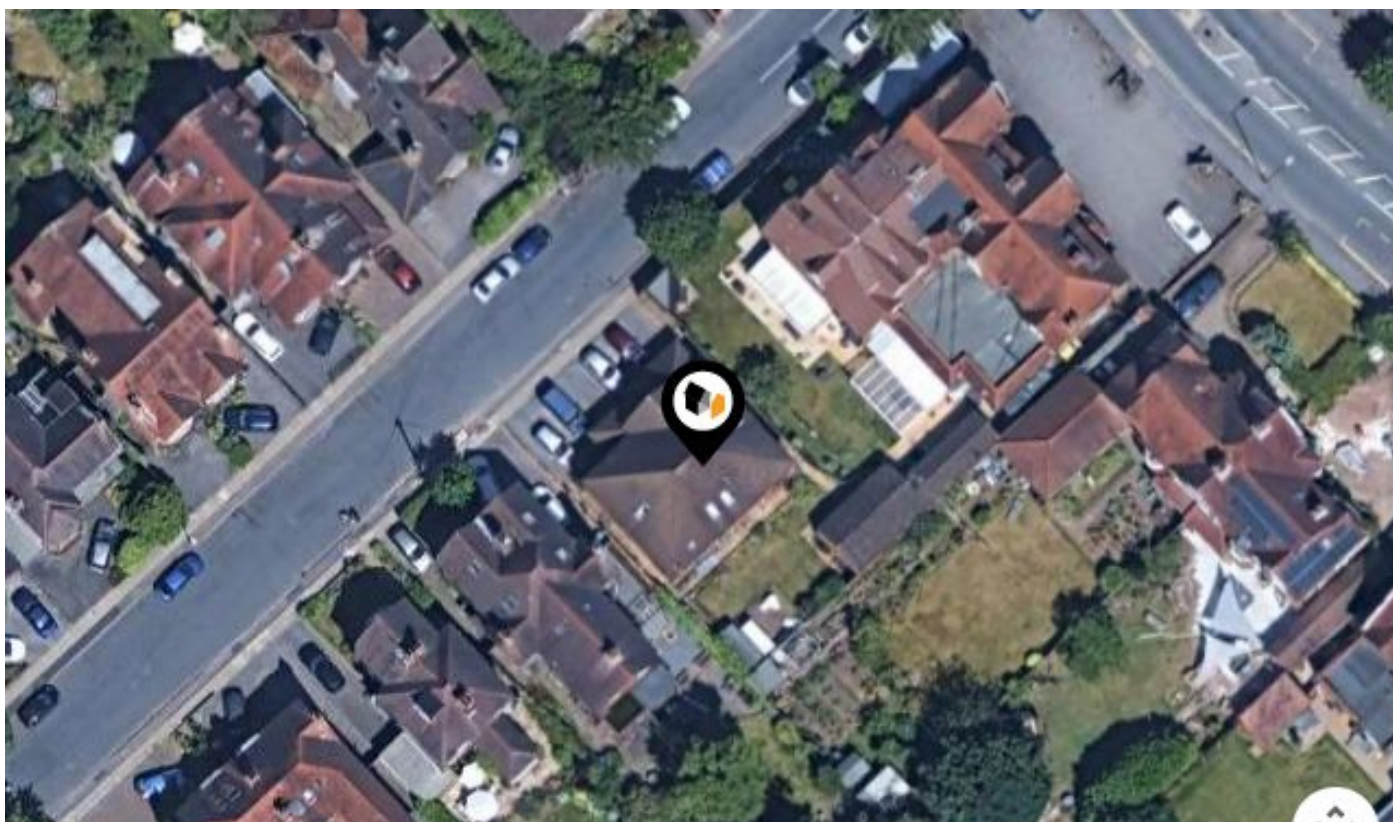


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KFB: Key Facts For Buyers

A Guide to This Property & the Local Area

Monday 03rd November 2025



DALTON LODGE, 1, STYVECHALE AVENUE, COVENTRY, CV5

OIRO : £135,000

Walmsley's The Way to Move

18a Earlsdon Street, Earlsdon, Coventry, CV5 6EG

0330 1180062

mark@walmsleystheawaytomove.co.uk

www.walmsleystheawaytomove.co.uk





Your property details in brief.....

1. Location and Connectivity

Located in Coventry, CV5 6DW, within the Earlsdon conservation area.

A one bedroom, ground floor studio apartment with private kitchen & bathroom

Heating & hot water, internet & Electricity all included in monthly charge

Close to Coventry Rail Station, approximately 0.68 miles away, providing rail links to surrounding areas.

Nearby motorway junctions include M6 J3 (4.8 miles), M6 J2 (5.13 miles), and M42 J6 (8.36 miles), facilitating road travel.

Airports accessible within a reasonable distance include Birmingham Airport (9.41 miles) and Baginton (3.02 miles).

Bus stops such as Warwick Avenue are within walking distance, offering local public transport options.

2. Property Attributes

Flat situated on the ground floor of Dalton Lodge, built in 2005.

Comprises one bedroom and one bathroom, with a total floor space of 351 sq ft.

Owner-occupied tenure with Council Tax Band A.

Current estimated valuation is £135,000, with a last sale price of £45,000 in August 2016.

Fully double glazed windows and community scheme heating system.

3. Schools and Amenities

Nearby schools include Earlsdon Primary School (Good rating, 0.27 miles) and Hearsall Community Academy (Good rating, 0.54 miles).

King Henry VIII School, an independent school, is approximately 0.5 miles away.

Local amenities and retail facilities are accessible within Coventry town centre.

4. Practical Positives

Good transport links with proximity to rail stations and motorway junctions.

High broadband speeds available, with maximum download speeds of up to 10,000 Mbps.

Energy Performance Certificate (EPC) rated C, with fully double glazed windows contributing to energy efficiency.

Low flood risk, supported by Radon rating of 1-3%.

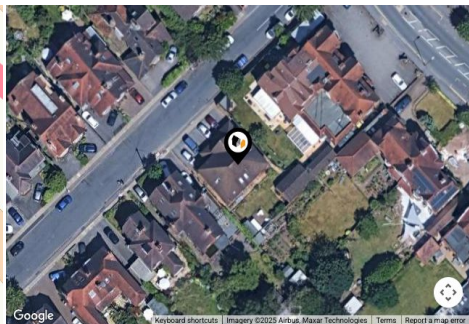
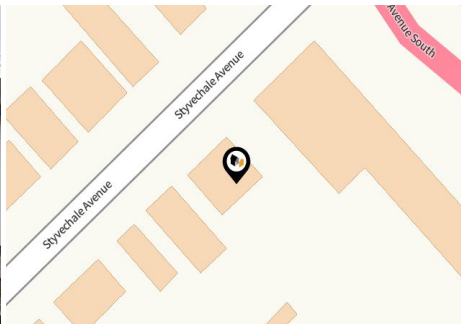
5. Market Context

The property last sold in 2016 for £45,000 and has an estimated current value of approximately £135,000.

Coventry properties of this type have experienced market activity, with typical sale times around 253 days.

The flat is situated within a conservation area, which may influence planning considerations.

These details do not form part of any legally binding contract or offer and are presented as an indicator of property key features. For all enquiries, questions, queries and concerns please contact us on sales@walmsleystheawaytomove.co.uk or 0330 1180 062



Property

Type:	Flat / Maisonette	OIRO:	£135,000
Bedrooms:	1		
Floor Area:	351 ft ² / 32 m ²		
Year Built :	2005		
Council Tax :	Band A		
Annual Estimate:	£1,609		

Local Area

Local Authority:	Coventry	Estimated Broadband Speeds		
Conservation Area:	Earlsdon	(Standard - Superfast - Ultrafast)		
Flood Risk:				
• Rivers & Seas	Very low	15	80	10000
• Surface Water	Very low	mb/s	mb/s	mb/s

Mobile Coverage:	Satellite/Fibre TV Availability:		
(based on calls indoors)			

Property
EPC - Certificate



1a Styvechale Avenue, CV5

Energy rating

C

Valid until 09.06.2026

Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C	76 c	77 c
55-68	D		
39-54	E		
21-38	F		
1-20	G		

Property

EPC - Additional Data



Additional EPC Data

Property Type:	Flat
Build Form:	Semi-Detached
Transaction Type:	Marketed sale
Energy Tariff:	Unknown
Main Fuel:	Mains gas (community)
Main Gas:	Yes
Floor Level:	Ground
Flat Top Storey:	No
Top Storey:	0
Glazing Type:	Double glazing installed during or after 2002
Previous Extension:	0
Open Fireplace:	0
Ventilation:	Natural
Walls:	Cavity wall, as built, insulated (assumed)
Walls Energy:	Good
Roof:	(another dwelling above)
Main Heating:	Community scheme
Main Heating Controls:	Flat rate charging, TRVs
Hot Water System:	Community scheme
Hot Water Energy Efficiency:	Good
Lighting:	Low energy lighting in 50% of fixed outlets
Floors:	Solid, insulated (assumed)
Total Floor Area:	31 m ²

Market Sold in Street



77, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	19/08/2025	15/12/1995	
Last Sold Price:	£650,000	£155,000	
23, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	16/05/2025	02/07/1999	
Last Sold Price:	£600,000	£129,500	
31, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	24/06/2021		
Last Sold Price:	£560,000		
35, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	22/01/2021		
Last Sold Price:	£517,500		
69, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	26/06/2020	22/07/2011	
Last Sold Price:	£520,000	£317,500	
75, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	02/12/2019	04/09/1995	
Last Sold Price:	£472,000	£140,152	
Flat 3, Dalton Lodge, 1a, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	12/08/2016	29/06/2005	
Last Sold Price:	£45,000	£81,500	
37, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	25/07/2016		
Last Sold Price:	£415,000		
11, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	16/06/2015		
Last Sold Price:	£425,000		
15, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	08/05/2015	26/09/2014	12/08/2005
Last Sold Price:	£400,000	£400,000	£377,000
71, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	02/05/2014	29/09/2006	25/09/2002
Last Sold Price:	£410,000	£369,950	£235,000
51, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	02/05/2014		
Last Sold Price:	£362,000		

NOTE: In this list we display up to 6 most recent sales records per property, since 1995.

57, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	01/10/2013		
Last Sold Price:	£370,000		
43, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	27/09/2013		
Last Sold Price:	£175,000		
27, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	15/11/2012	19/12/1996	
Last Sold Price:	£448,000	£150,000	
65, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	19/11/2010		
Last Sold Price:	£287,000		
5, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	25/06/2010	22/08/2003	12/12/1997
Last Sold Price:	£555,000	£457,500	£190,000
53, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	01/04/2010	22/06/2001	
Last Sold Price:	£350,000	£242,000	
73a, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	04/12/2009	19/10/1999	17/04/1998
Last Sold Price:	£160,000	£65,000	£53,000
45, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	03/08/2007		
Last Sold Price:	£385,000		
79, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	15/12/2006	21/11/1997	
Last Sold Price:	£305,000	£123,000	
19, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	21/04/2006		
Last Sold Price:	£362,500		
17, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	31/03/2005		
Last Sold Price:	£335,000		
41, Styvechale Avenue, Coventry, CV5 6DW			
Last Sold Date:	22/08/2003		
Last Sold Price:	£285,000		

NOTE: In this list we display up to 6 most recent sales records per property, since 1995.

Market Sold in Street



55, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date: 01/05/2003
Last Sold Price: £250,000

47, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date:	15/08/2001	29/11/1996
Last Sold Price:	£195,000	£110,000

67, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date: 13/06/2000
Last Sold Price: £175,000

7, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date: 02/07/1999
Last Sold Price: £175,000

3, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date: 01/04/1999
Last Sold Price: £120,000

1, Styvechale Avenue, Coventry, CV5 6DW

Last Sold Date: 10/06/1996
Last Sold Price: £121,000

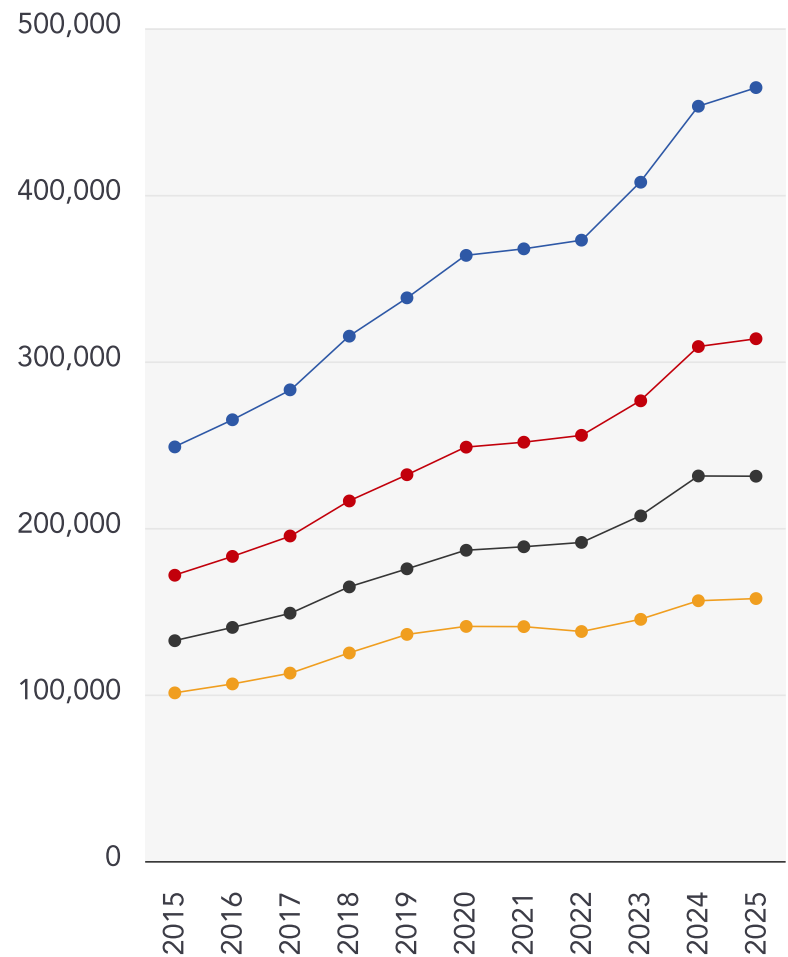
NOTE: In this list we display up to 6 most recent sales records per property, since 1995.

Market

House Price Statistics



10 Year History of Average House Prices by Property Type in CV5



Detached

+86.77%

Semi-Detached

+82.76%

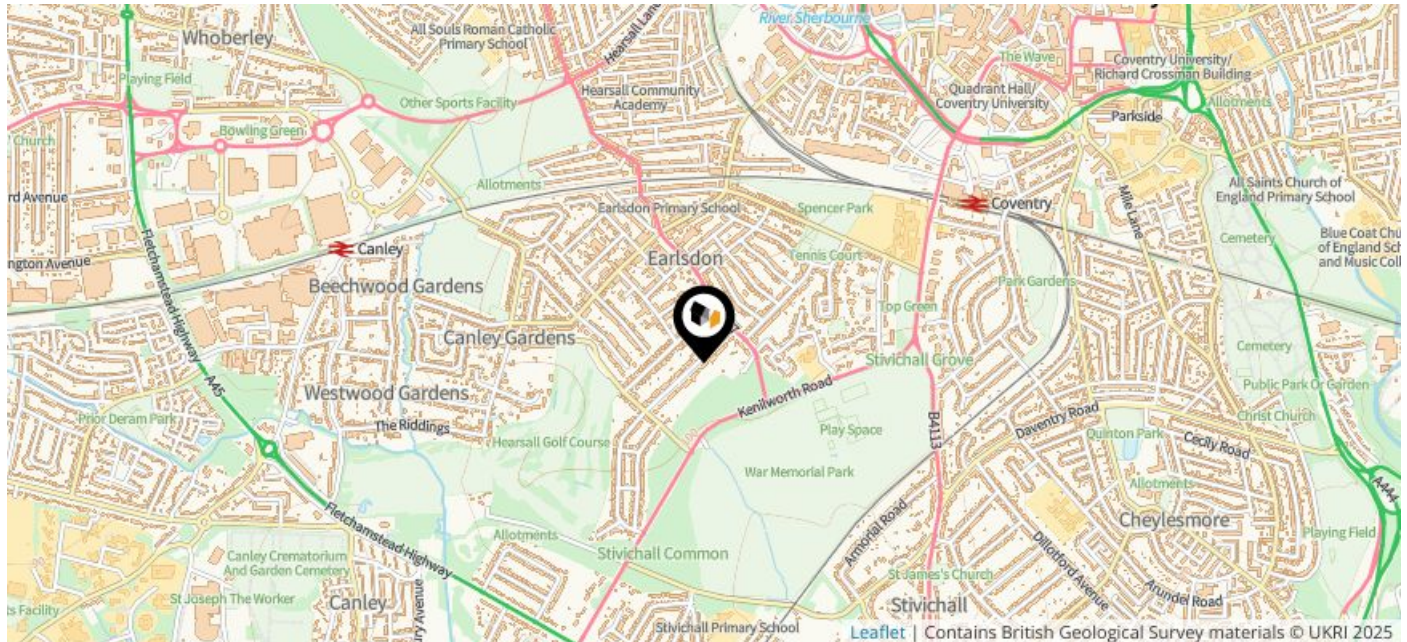
Terraced

+74.65%

Flat

+56.09%

This map displays nearby coal mine entrances and their classifications.



Mine Entry

- ✕ Adit
- ✕ Gutter Pit
- ✕ Shaft

The Coal Authority has records of over 175,000 mine entries within the UK captured in the National Coal Mining database, derived from sources including abandonment plans, geological and topographical plans.

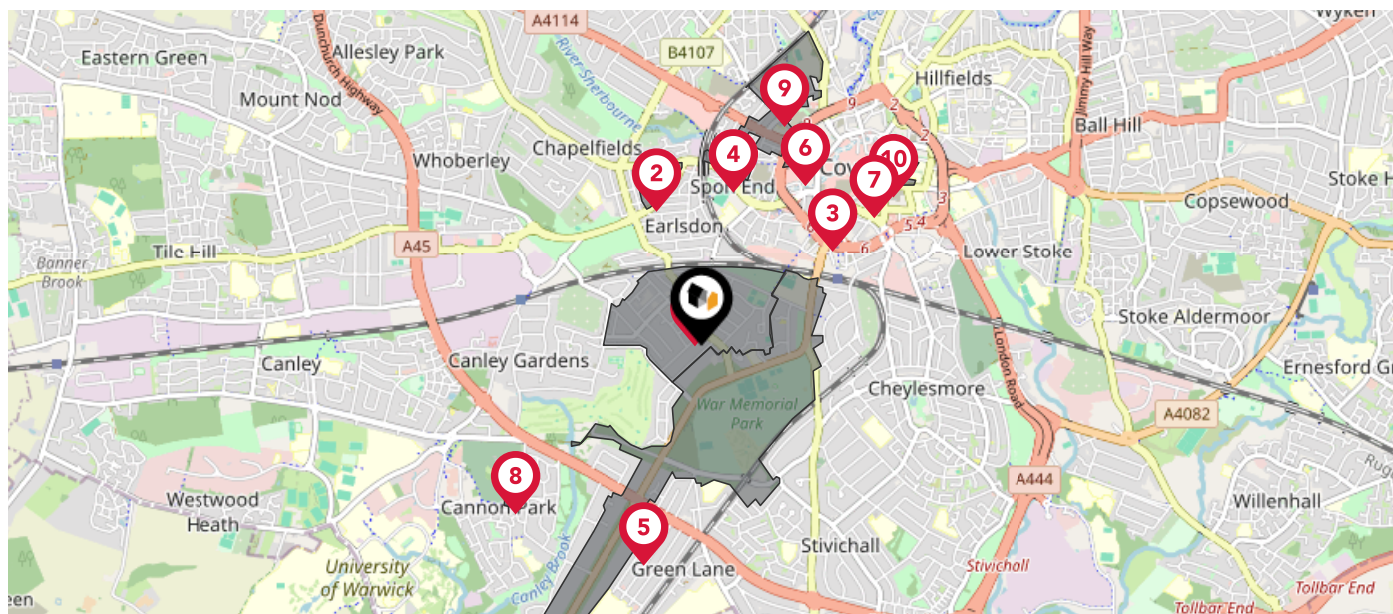
Coal mining activity is recorded as far back as the 13th century, but prior to 1872 there was no requirement to deposit abandonment plans. It is therefore believed there may be many unrecorded mine entries of which the Authority has no information or knowledge. These entries do not, therefore, appear within the Authority's national dataset as shown on this map.

Maps

Conservation Areas



This map displays nearby official conservation areas. Every local authority in England has at least one conservation area. Most are designated by the Council as the local planning authority, though Historic England and the Secretary of State also have the power to create them.



Nearby Conservation Areas



Earlsdon



Chapelfields



Greyfriars Green



Spon End



Kenilworth Road



Spon Street



High Street



Ivy Farm Lane (Canley Hamlet)



Naul's Mill



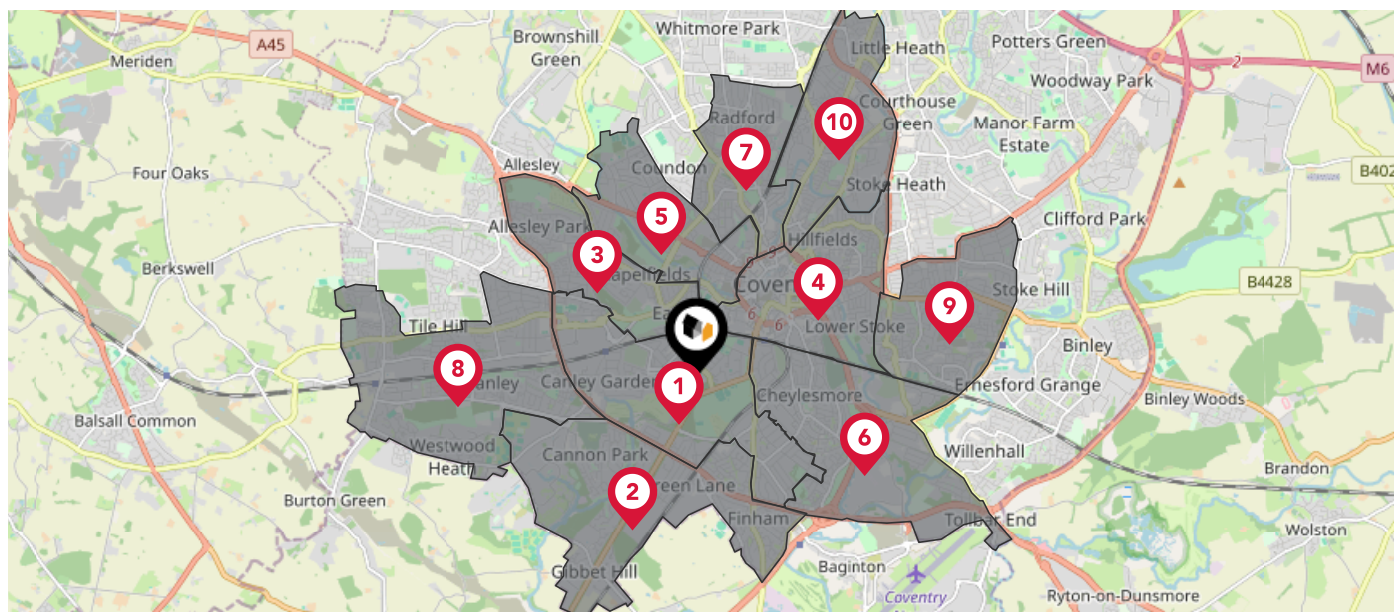
Hill Top and Cathedral

Maps

Council Wards



The UK is divided into wards that are used for local elections to elect local government councillors. Sometimes these are known as 'electoral divisions'. Population counts can vary substantially between wards, but the national average is about 5,500



Nearby Council Wards



Earlsdon Ward



Wainbody Ward



Whoberley Ward



St. Michael's Ward



Sherbourne Ward



Cheylesmore Ward



Radford Ward



Westwood Ward



Lower Stoke Ward



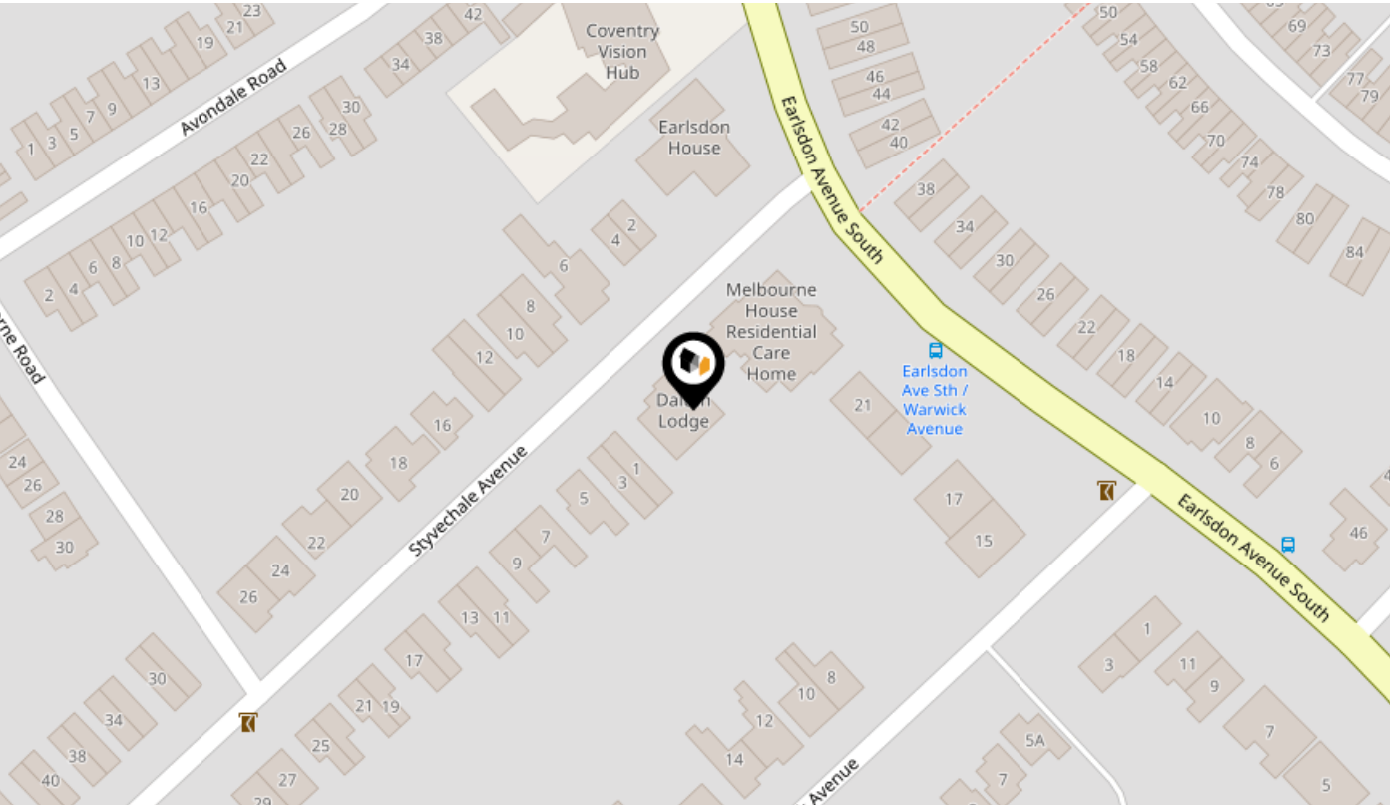
Foleshill Ward

Maps

Rail Noise



This map displays the noise levels from nearby network rail and HS1 railway routes that affect this property...

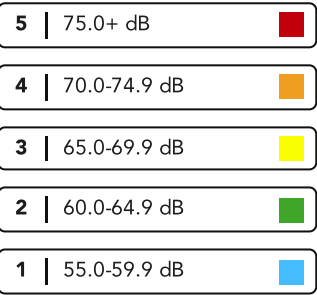


Rail Noise Data

This data indicates the level of noise according to the strategic noise mapping of rail sources within areas with a population of at least 100,000 people (agglomerations) and along Network Rail and HS1 traffic routes.

The data indicates the annual average noise levels for the 16-hour period between 0700 - 2300.

Noise levels are modelled on a 10m grid at a receptor height of 4m above ground, polygons are then produced by merging neighbouring cells within the following noise classes:

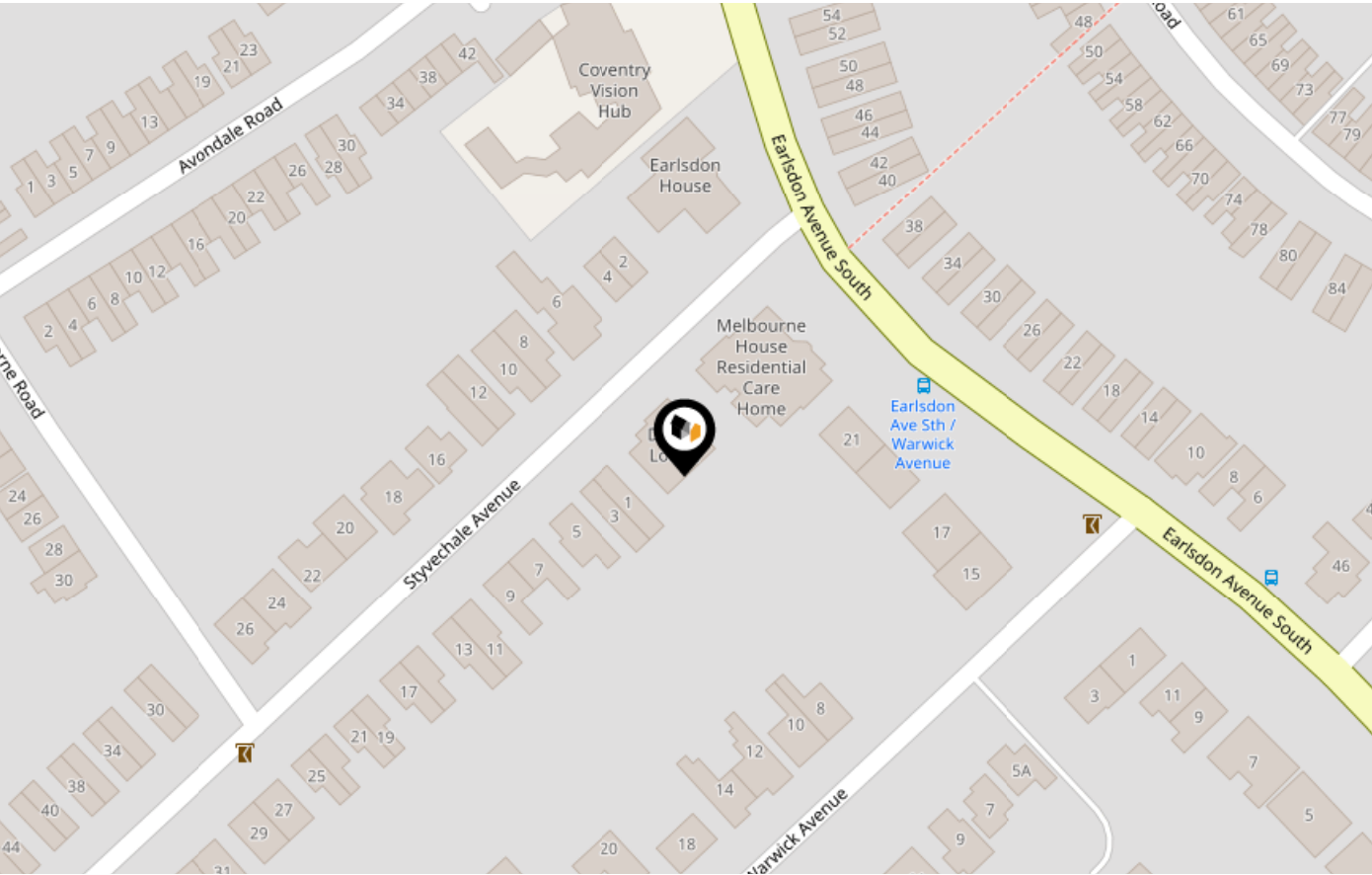


Flood Risk

Rivers & Seas - Flood Risk



This map shows the chance of flooding from rivers and / or the sea, taking into account flood defences and their condition.

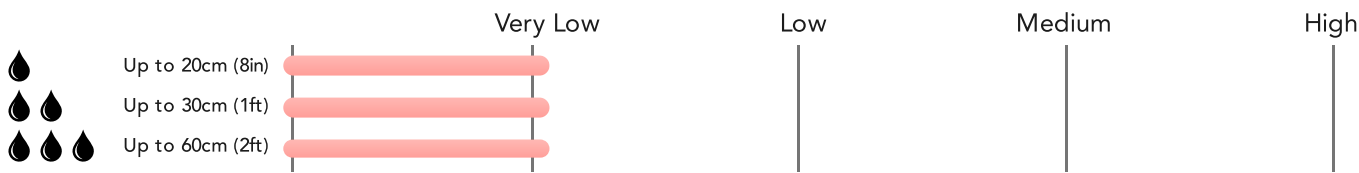


Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

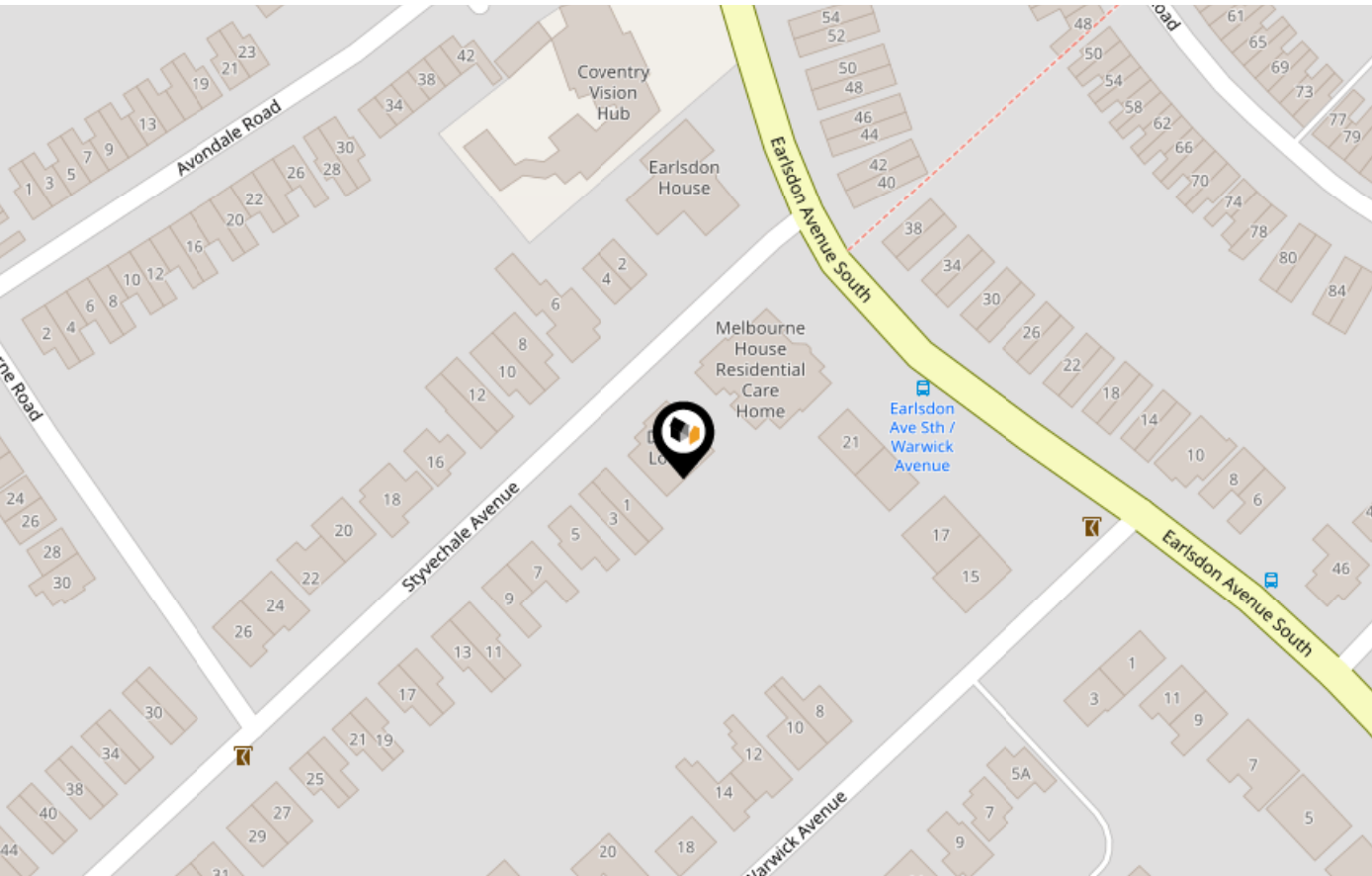
Chance of flooding to the following depths at this property:



Flood Risk

Rivers & Seas - Climate Change

This map shows the future chance of flooding from rivers and / or the sea **between 2036 and 2069**, taking into account flood defences and their condition. The government climate change models cannot predict exactly when the chance of flooding will go up. It could happen at any time during the time period.



Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

Chance of flooding to the following depths at this property:

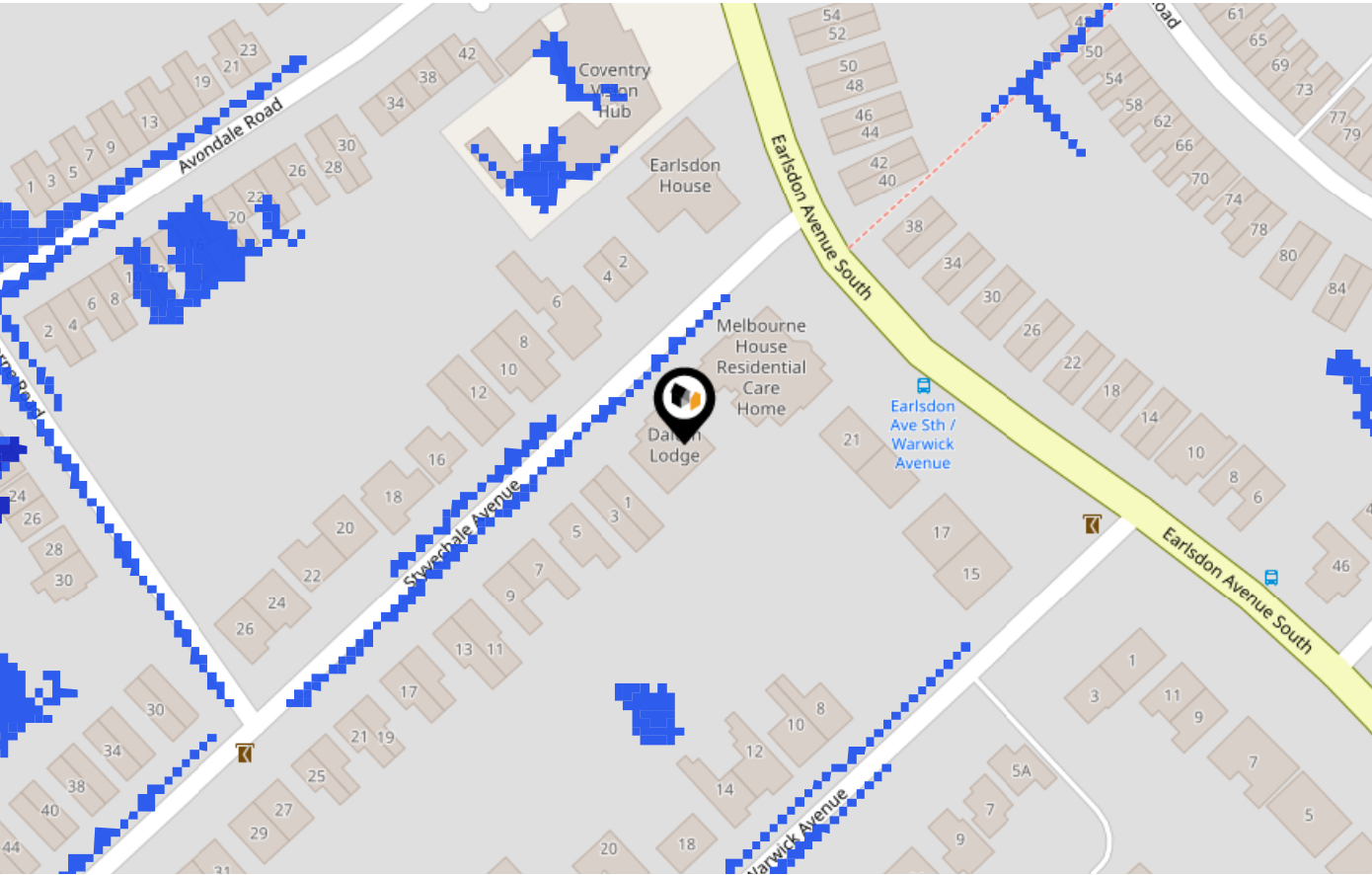




Flood Risk

Surface Water - Flood Risk

This map shows the chance of flooding where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas.

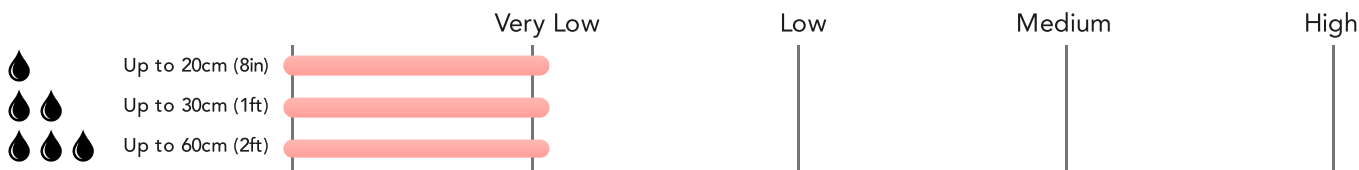


Risk Rating: Very low

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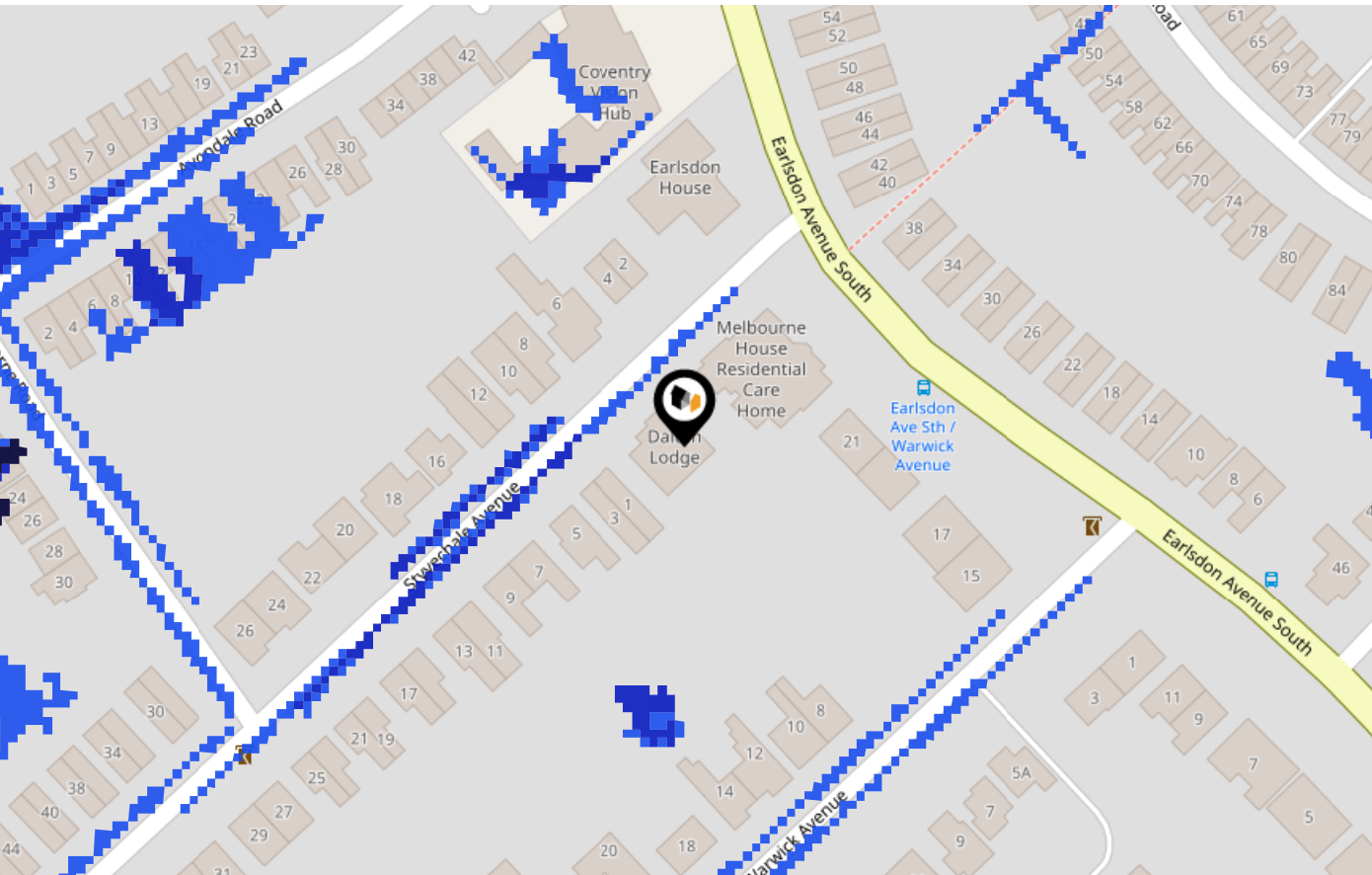
Chance of flooding to the following depths at this property:



Flood Risk

Surface Water - Climate Change

This map shows the future chance of flooding **between 2040 and 2060** where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas. The government climate change models cannot predict exactly when the chance of flooding will go up. It could happen at any time during the time period.

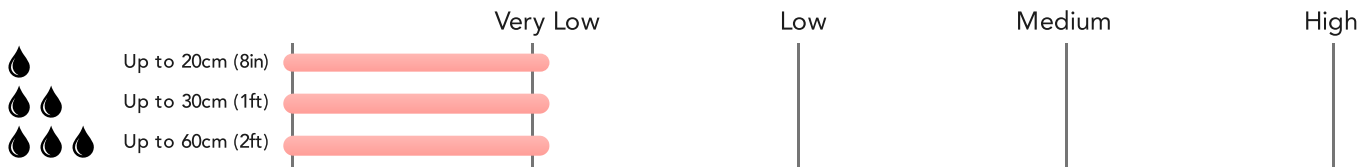


Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
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Chance of flooding to the following depths at this property:

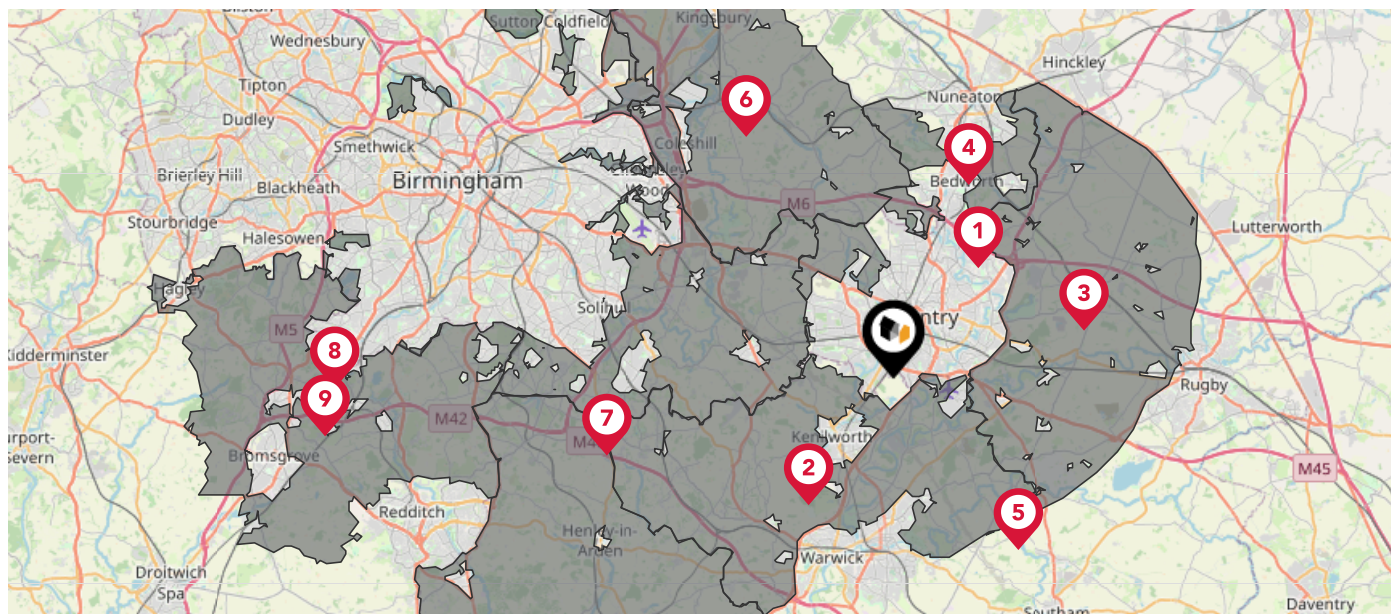


Maps

Green Belt



This map displays nearby areas that have been designated as Green Belt...



Nearby Green Belt Land

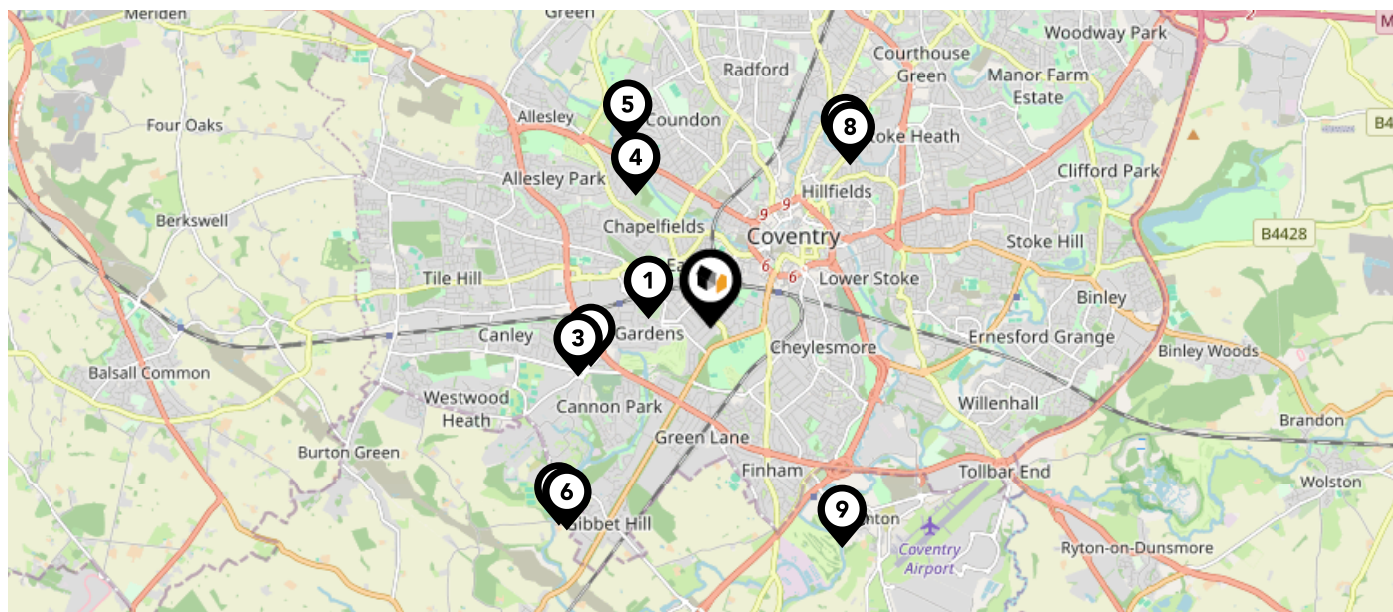
- 1 Birmingham Green Belt - Coventry
- 2 Birmingham Green Belt - Warwick
- 3 Birmingham Green Belt - Rugby
- 4 Birmingham Green Belt - Nuneaton and Bedworth
- 5 Birmingham Green Belt - Stratford-on-Avon
- 6 Birmingham Green Belt - North Warwickshire
- 7 Birmingham Green Belt - Solihull
- 8 Birmingham Green Belt - Birmingham
- 9 Birmingham Green Belt - Bromsgrove

Maps

Landfill Sites



This map displays the location of known landfill sites. Historic sites are where there is no environmental permit in force. Active sites are currently authorised by the Environment Agency under Environmental Permitting Regulations.



Nearby Landfill Sites

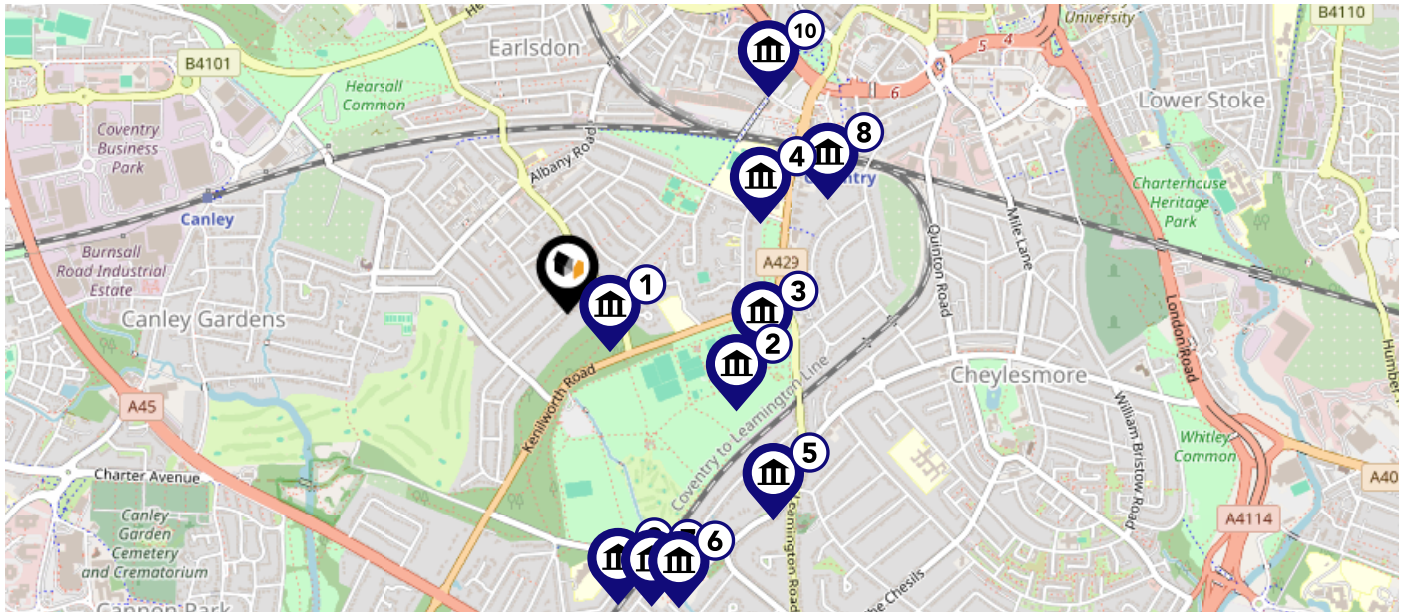
1	Hearsall Common-Whoberley, Coventry	Historic Landfill	
2	Fletchampstead Highway-Canley, Coventry	Historic Landfill	
3	Prior Deram Park-Canley, Coventry	Historic Landfill	
4	Holyhead Road-Coundon, Coventry	Historic Landfill	
5	Coundon Social Club-Coundon, Coventry	Historic Landfill	
6	Cryfield Grange-Cryfield Grange Road, Gibbet Hill, Coventry, Warwickshire	Historic Landfill	
7	Cryfield Grange-Cryfield Grange Road, Gibbet Hill, Coventry, Warwickshire	Historic Landfill	
8	Midland Brickworks-Stoney Stanton Road, Coventry	Historic Landfill	
9	Hall Drive-Baginton	Historic Landfill	
10	Webster Hemmings Brickworks Landfill-Weights Farm, Weights Lane, Bordesley, Redditch	Historic Landfill	

Maps

Listed Buildings

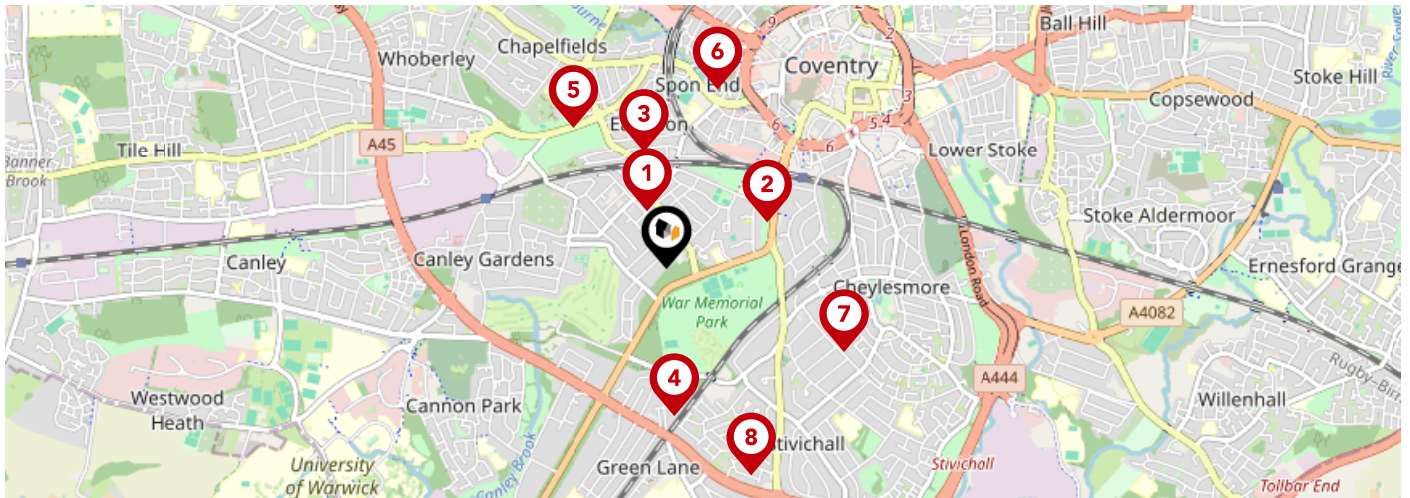


This map displays nearby listed buildings and protected structures, as well as their listed tier and distance from the target property...



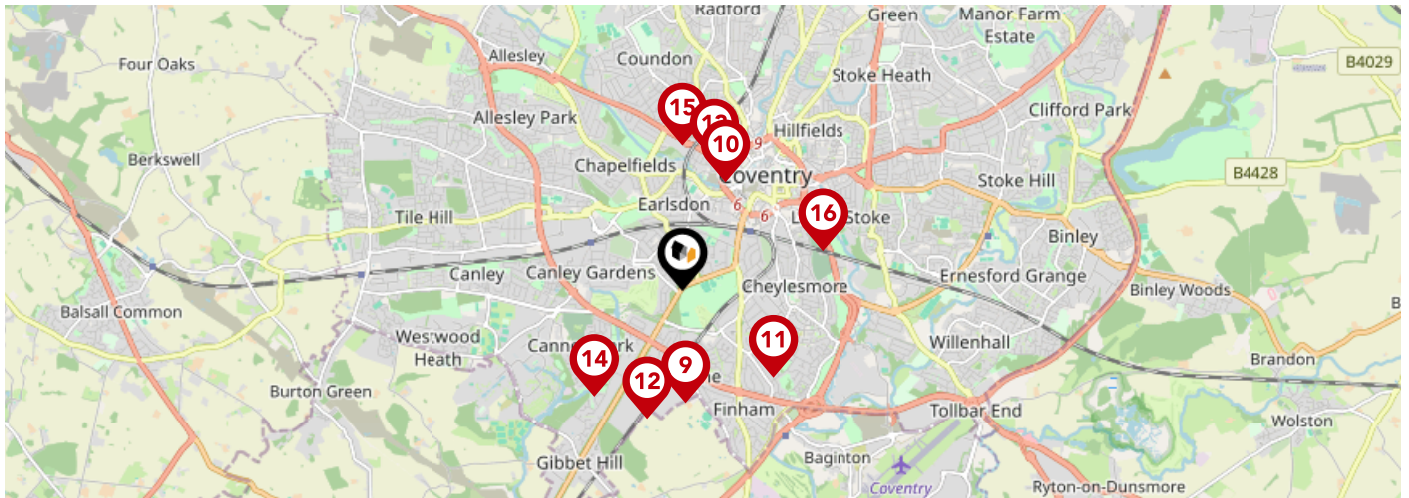
Listed Buildings in the local district	Grade	Distance
 1443610 - Earlsdon Drinking Fountain	Grade II	0.1 miles
 1410358 - War Memorial In Coventry War Memorial Park	Grade II	0.5 miles
 1410356 - Entrance Gates And Piers To Coventry War Memorial Park	Grade II	0.5 miles
 1342934 - Free Grammar School King Henry Viii School	Grade II	0.5 miles
 1076620 - Bremond College	Grade II	0.7 miles
 1104926 - The Smithy	Grade II	0.7 miles
 1076608 - Bridge Cottage	Grade II	0.7 miles
 1242849 - Coventry Station, Including Attached Platform Structures	Grade II	0.7 miles
 1265651 - Stivichall Animal Pound	Grade II	0.7 miles
 1335851 - Baptist Chapel	Grade II	0.7 miles

Area Schools



		Nursery	Primary	Secondary	College	Private
1	Earlsdon Primary School Ofsted Rating: Good Pupils: 423 Distance:0.27	☐	☒	☐	☐	☐
2	King Henry VIII School Ofsted Rating: Not Rated Pupils: 802 Distance:0.5	☐	☐	☒	☐	☐
3	Hearsall Community Academy Ofsted Rating: Good Pupils: 466 Distance:0.54	☐	☒	☐	☐	☐
4	Stivichall Primary School Ofsted Rating: Good Pupils: 534 Distance:0.67	☐	☒	☐	☐	☐
5	All Souls' Catholic Primary School Ofsted Rating: Good Pupils: 239 Distance:0.76	☐	☒	☐	☐	☐
6	Spon Gate Primary School Ofsted Rating: Good Pupils: 260 Distance:0.84	☐	☒	☐	☐	☐
7	Manor Park Primary School Ofsted Rating: Good Pupils: 727 Distance:0.89	☐	☒	☐	☐	☐
8	Grange Farm Primary School Ofsted Rating: Good Pupils: 421 Distance:1.01	☐	☒	☐	☐	☐

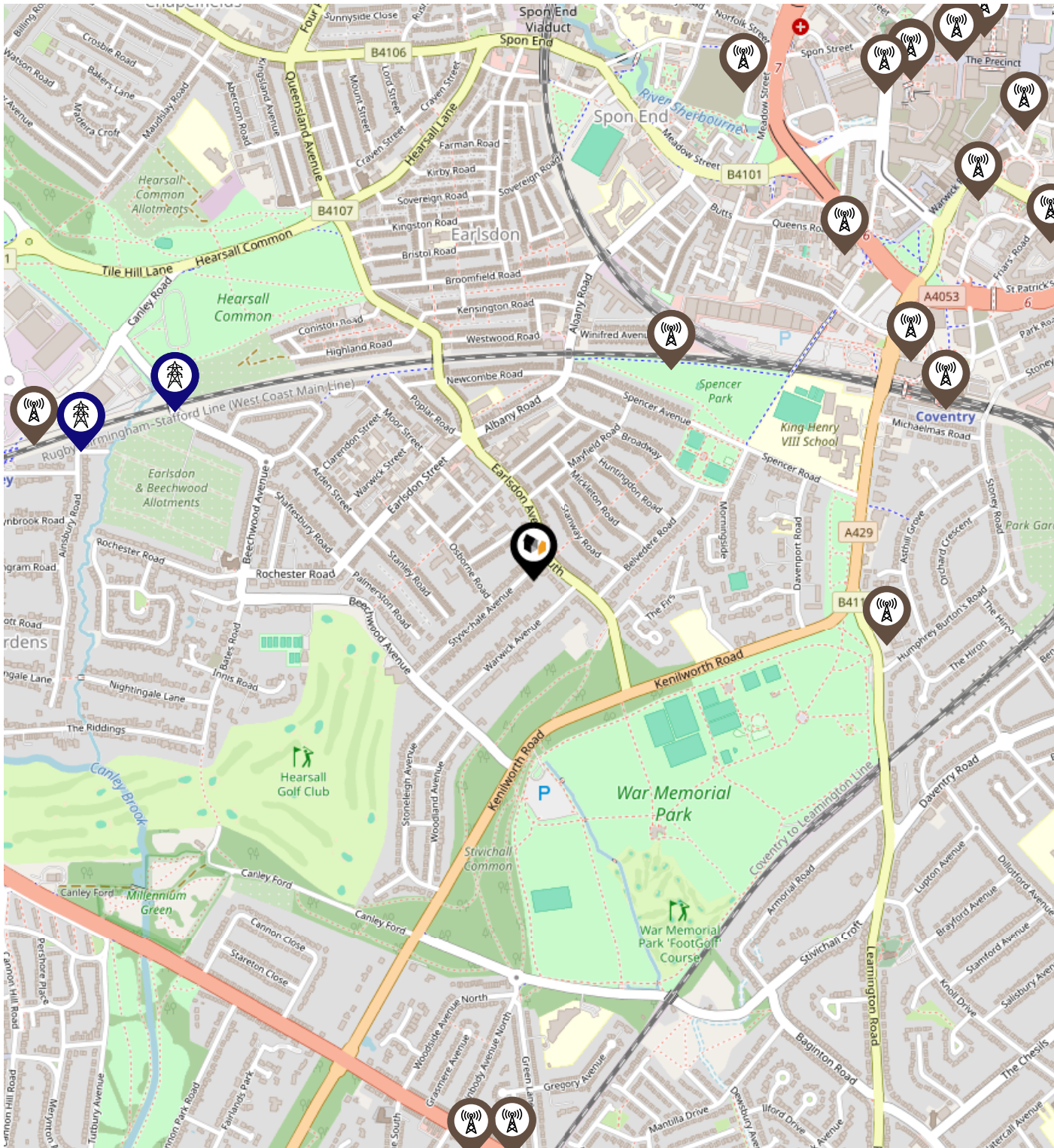
Area Schools



		Nursery	Primary	Secondary	College	Private
	Finham Park School Ofsted Rating: Outstanding Pupils: 1711 Distance:1.01	☐	☐	☒	☐	☐
	St Osburg's Catholic Primary School Ofsted Rating: Good Pupils: 228 Distance:1.06	☐	☒	☐	☐	☐
	St Thomas More Catholic Primary School Ofsted Rating: Good Pupils: 317 Distance:1.13	☐	☒	☐	☐	☐
	Bishop Ullathorne Catholic School Ofsted Rating: Good Pupils: 1140 Distance:1.2	☐	☐	☒	☐	☐
	Bablake School Ofsted Rating: Not Rated Pupils: 1048 Distance:1.22	☐	☐	☒	☐	☐
	Cannon Park Primary School Ofsted Rating: Good Pupils: 204 Distance:1.24	☐	☒	☐	☐	☐
	Moseley Primary School Ofsted Rating: Good Pupils: 502 Distance:1.32	☐	☒	☐	☐	☐
	All Saints Church of England Primary School Ofsted Rating: Good Pupils: 249 Distance:1.33	☐	☒	☐	☐	☐

Local Area

Masts & Pylons

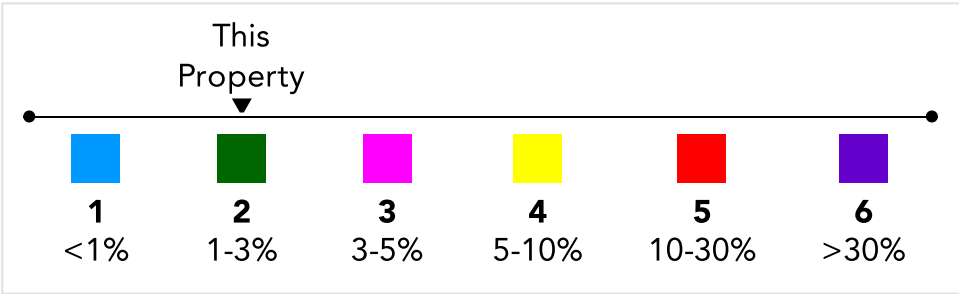
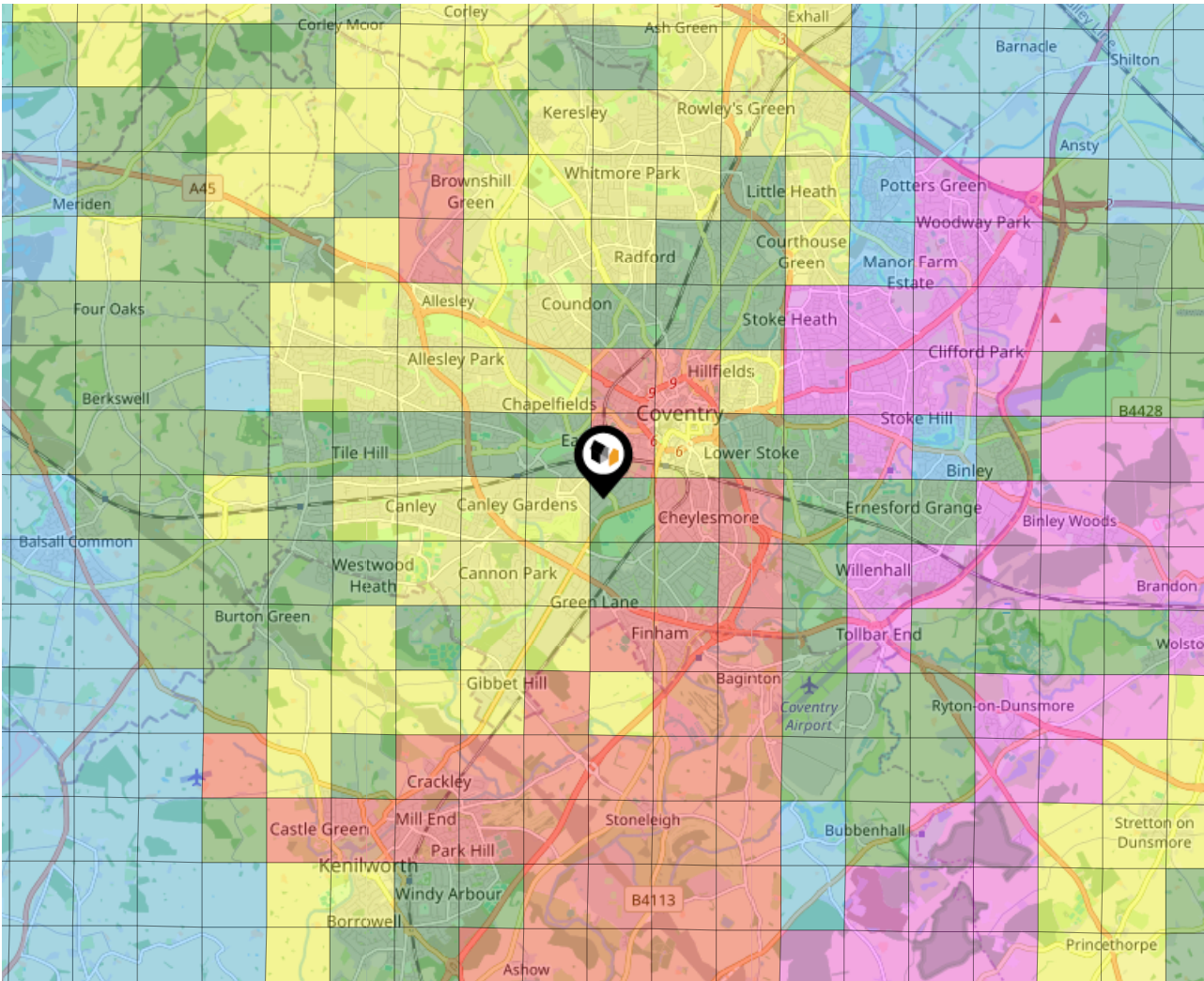


Key:

-  Power Pylons
-  Communication Masts

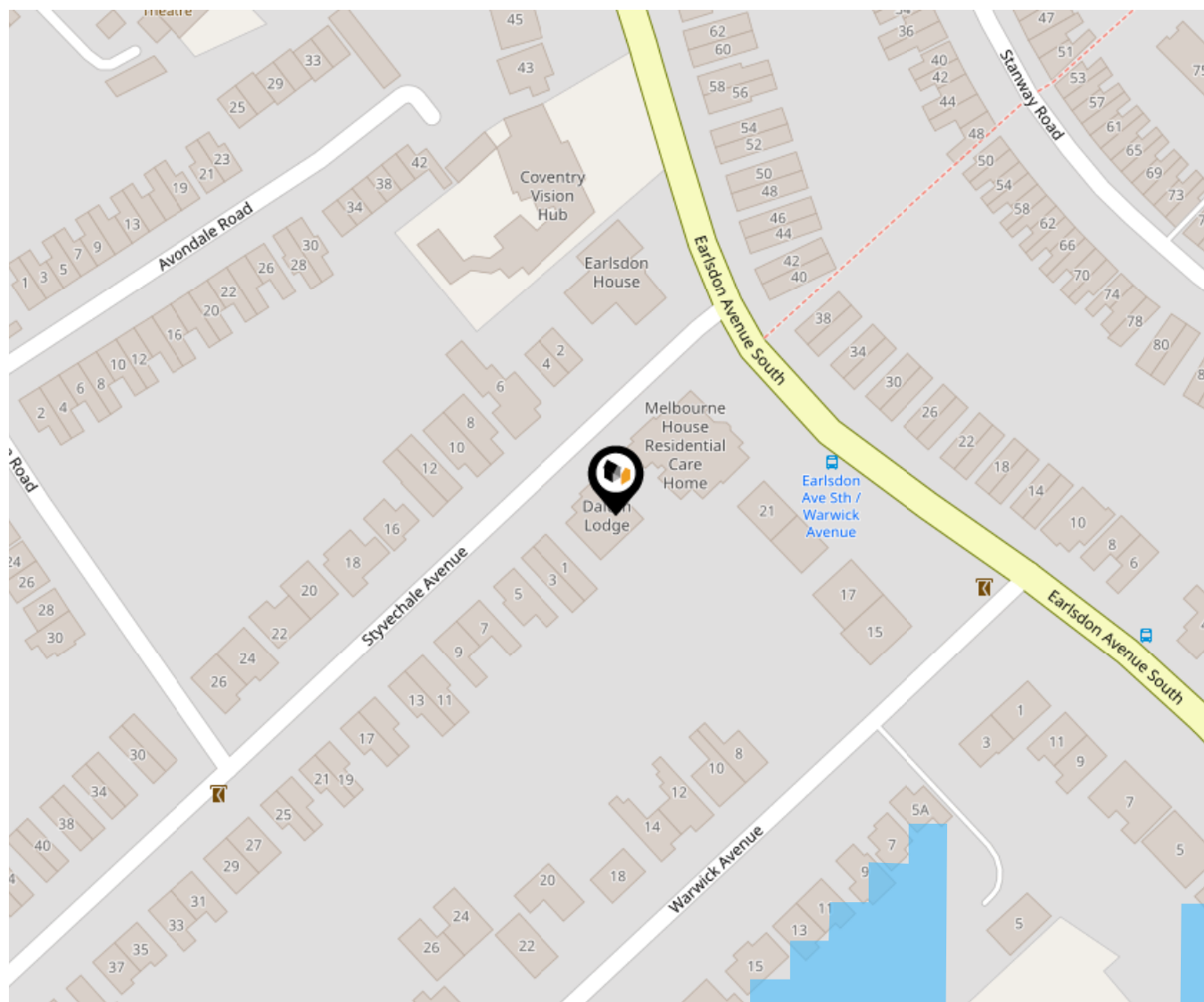
What is Radon?

Radon is a natural radioactive gas, which enters buildings from the ground. Exposure to high concentrations increases the risk of lung cancer. The UK Health Security Agency (UKHSA) recommends that radon levels should be reduced in homes where the annual average is at or above 200 becquerels per cubic metre (200 Bq/m3).



Local Area

Road Noise



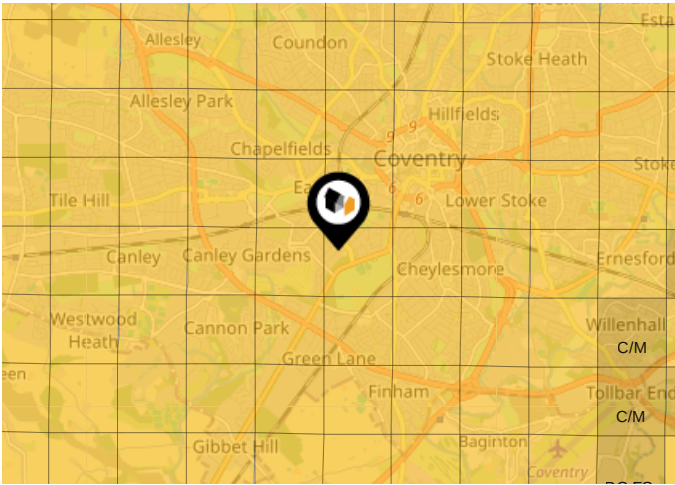
This data indicates the level of noise according to the strategic noise mapping of road sources within areas with a population of at least 100,000 people (agglomerations) and along major traffic routes. This indicates a 24 hour annual average noise level with separate weightings for the evening and night periods.

Noise levels are modelled on a 10m grid at a receptor height of 4m above ground, polygons are then produced by merging neighbouring cells within the following noise classes:

- 75.0+ dB
- 70.0-74.9 dB
- 65.0-69.9 dB
- 60.0-64.9 dB
- 55.0-59.9 dB

Ground Composition for this Address (Surrounding square kilometer zone around property)

Carbon Content:	NONE	Soil Texture:	CLAYEY LOAM TO SANDY LOAM
Parent Material Grain:	ARGILLIC - ARENACEOUS	Soil Depth:	INTERMEDIATE-SHALLOW
Soil Group:	MEDIUM TO LIGHT(SILTY) TO HEAVY		

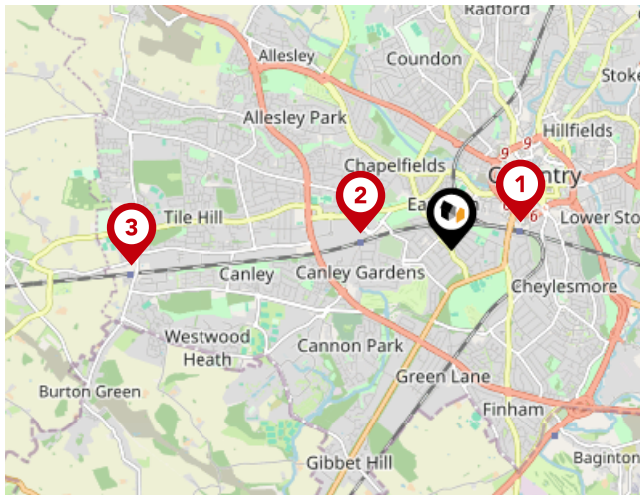


Primary Classifications (Most Common Clay Types)

C/M	Claystone / Mudstone
FPC,S	Floodplain Clay, Sand / Gravel
FC,S	Fluvial Clays & Silts
FC,S,G	Fluvial Clays, Silts, Sands & Gravel
PM/EC	Prequaternary Marine / Estuarine Clay / Silt
QM/EC	Quaternary Marine / Estuarine Clay / Silt
RC	Residual Clay
RC/LL	Residual Clay & Loamy Loess
RC,S	River Clay & Silt
RC,FS	Riverine Clay & Floodplain Sands and Gravel
RC,FL	Riverine Clay & Fluvial Sands and Gravel
TC	Terrace Clay
TC/LL	Terrace Clay & Loamy Loess

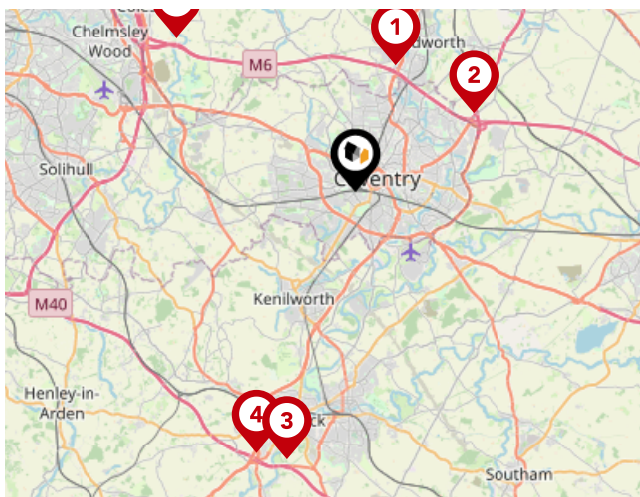
Area

Transport (National)



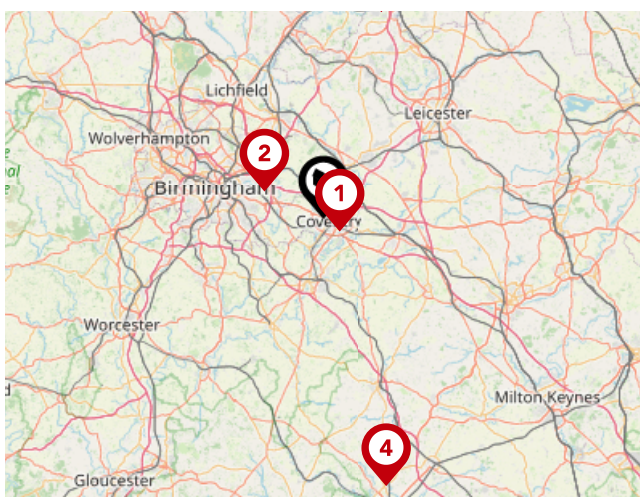
National Rail Stations

Pin	Name	Distance
	Coventry Rail Station	0.68 miles
	Canley Rail Station	0.83 miles
	Tile Hill Rail Station	2.9 miles



Trunk Roads/Motorways

Pin	Name	Distance
	M6 J3	4.8 miles
	M6 J2	5.13 miles
	M40 J14	10.02 miles
	M40 J15	10.12 miles
	M6 J3A	8.56 miles

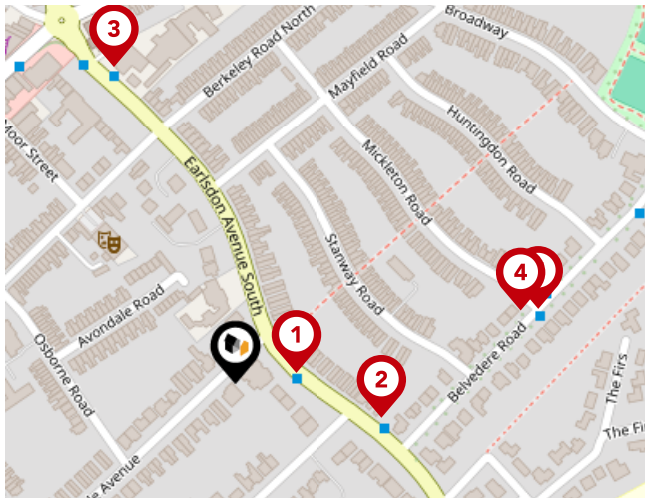


Airports/Helipads

Pin	Name	Distance
	Baginton	3.02 miles
	Birmingham Airport	9.41 miles
	East Mids Airport	30.86 miles
	Kidlington	40.08 miles

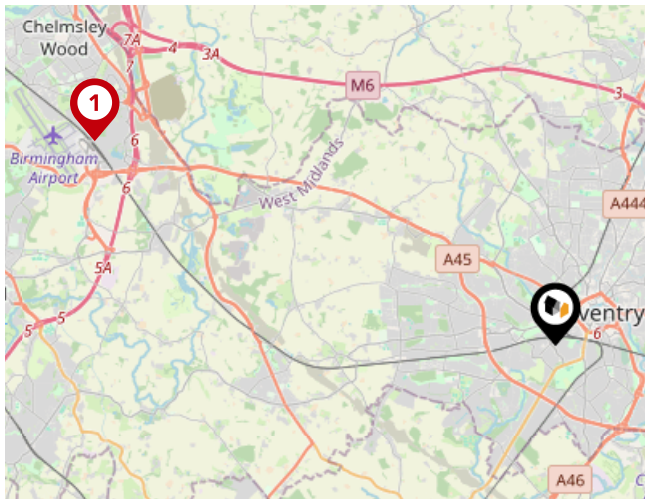
Area

Transport (Local)



Bus Stops/Stations

Pin	Name	Distance
	Warwick Avenue	0.04 miles
	Warwick Avenue	0.09 miles
	Elsie Jones House	0.19 miles
	Mickleton Rd	0.17 miles
	Mickleton Rd	0.18 miles



Local Connections

Pin	Name	Distance
	Birmingham Intl Rail Station (Air-Rail Link)	9.14 miles

Walmsley's The Way to Move

Testimonials



Testimonial 1



"Out of all of the realtors/estate agents I've dealt with, Mark has been the most honest, knowledgeable and straightforward." - LinkedIn

Testimonial 2



"A pleasure to deal with." - LinkedIn

Testimonial 3



"Great photography and video." - LinkedIn

Testimonial 4



"No pushy sales pitch, just relaxed knowledge transfer." - LinkedIn



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They should not be relied upon as a statement or representation of fact and, although believed to be correct, are not guaranteed and form no part of an offer or contract. Any intending buyers must satisfy themselves as to their correctness.

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Walmsley's The Way to Move

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