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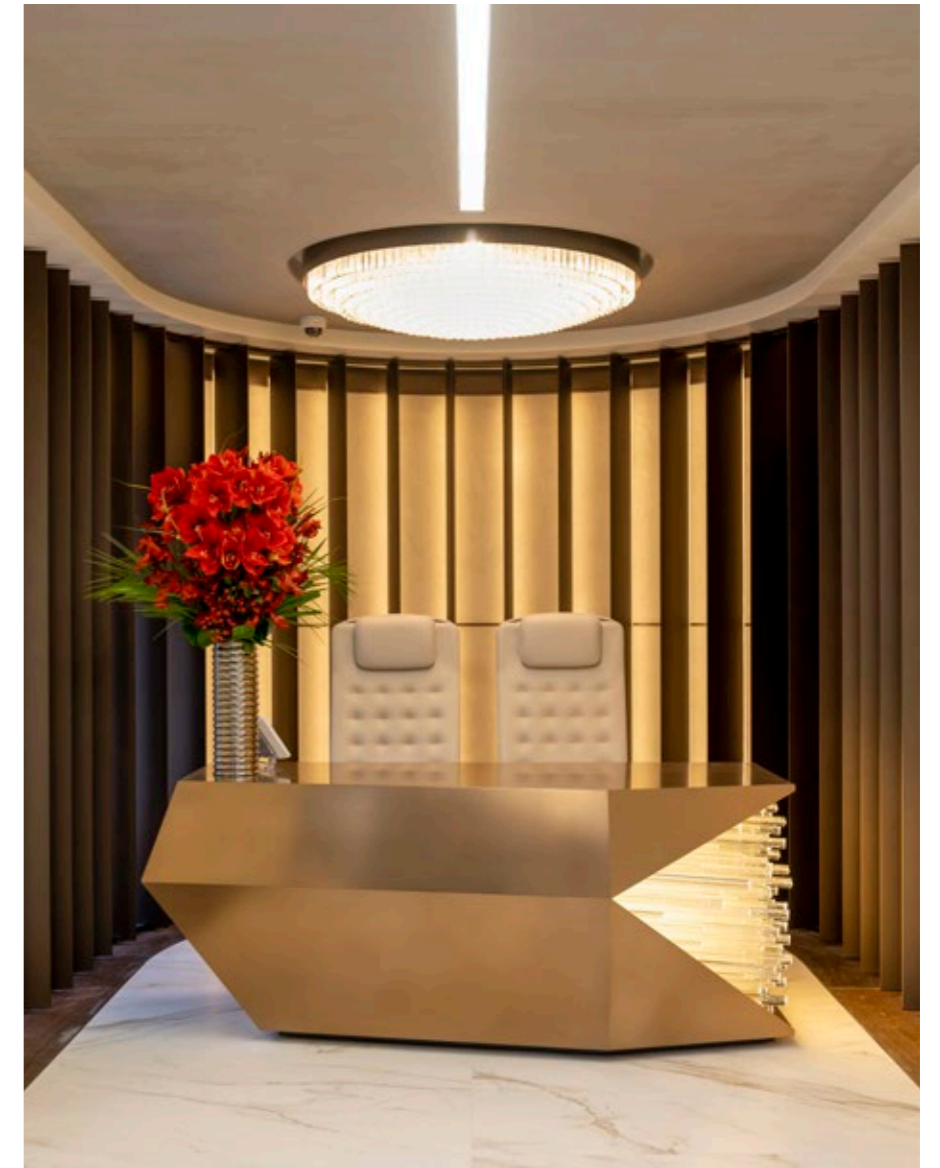
S T J A M E S ' S  
S Q U A R E





24 ST JAMES'S SQUARE

A LANDMARK REDEVELOPMENT  
OF THIS UNIQUE HEADQUARTERS  
OFFICE BUILDING ON LONDON'S MOST  
PRESTIGIOUS GARDEN SQUARE



24 ST JAMES'S SQUARE OFFERS  
15,024 SQ FT OF GRADE A  
CONTEMPORARY OFFICE SPACE  
OVERLOOKING THE VERY CENTRE  
OF ST JAMES'S SQUARE

The building has recently undergone  
a major redevelopment. Retaining  
its traditional façade and exclusive  
balconies, the building benefits  
from a dual aspect over the square  
and Pall Mall.



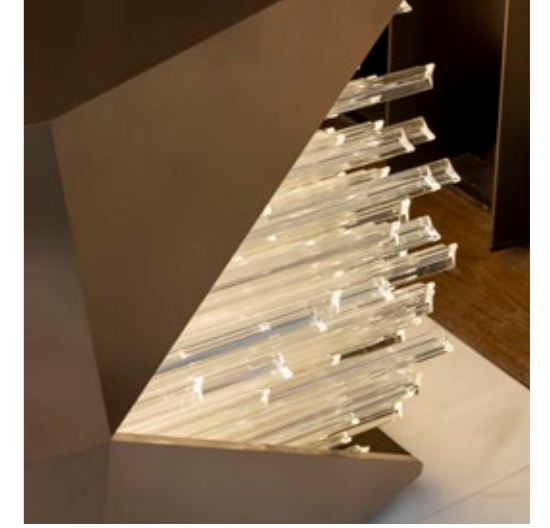
RECEPTION



Combining contemporary design and innovative technology with traditional architecture, 24 St James's Square sets new standards in terms of the superior craftsmanship and attention to detail involved in the restoration of this landmark building.

Originally designed in 1902 by the renowned architect F.E. Williams, the façade benefits from pilastered and channelled Portland Stone detailing.

The new reception from St James's Square includes luxury marble, bronze, leather and walnut finishes which, combined with service-led concierge staff, creates an impressive entrance for occupiers and visitors to the building.





LIFT LOBBY



1ST FLOOR





2ND FLOOR



3RD FLOOR



8TH FLOOR



VIEW OF ST JAMES'S SQUARE FROM THE BUILDING

VIEW OF ST JAMES'S SQUARE  
C.1752

### HISTORIC ST JAMES'S SQUARE

The square has always attracted the most discerning occupiers. In the 1720's, there were seven Dukes and seven Earls in residence. Even to this day, the square is still home to some of the capital's finest houses and most internationally recognisable corporate and financial occupiers.





DAIMLER SHOWROOM C. 1912



KING GEORGE V

24 St James's Square was originally the London Showroom and Headquarters offices for the Daimler Motor Company. The building has seen many international heads of state through its prestigious doors, most notably George V in 1912, who spent many hours there refining the specification of his new Daimler automobile.

THE MALL

PICCADILLY  
CIRCUS

24

PALL MALL

REGENT STREET

PICCADILLY

BUCKINGHAM PALACE

THE RITZ

GREEN  
PARK



ST JAMES'S  
PARK

ST JAMES'S  
SQUARE

GREEN  
PARK









## AMENITIES AND LOCAL OCCUPIERS

### RESTAURANTS

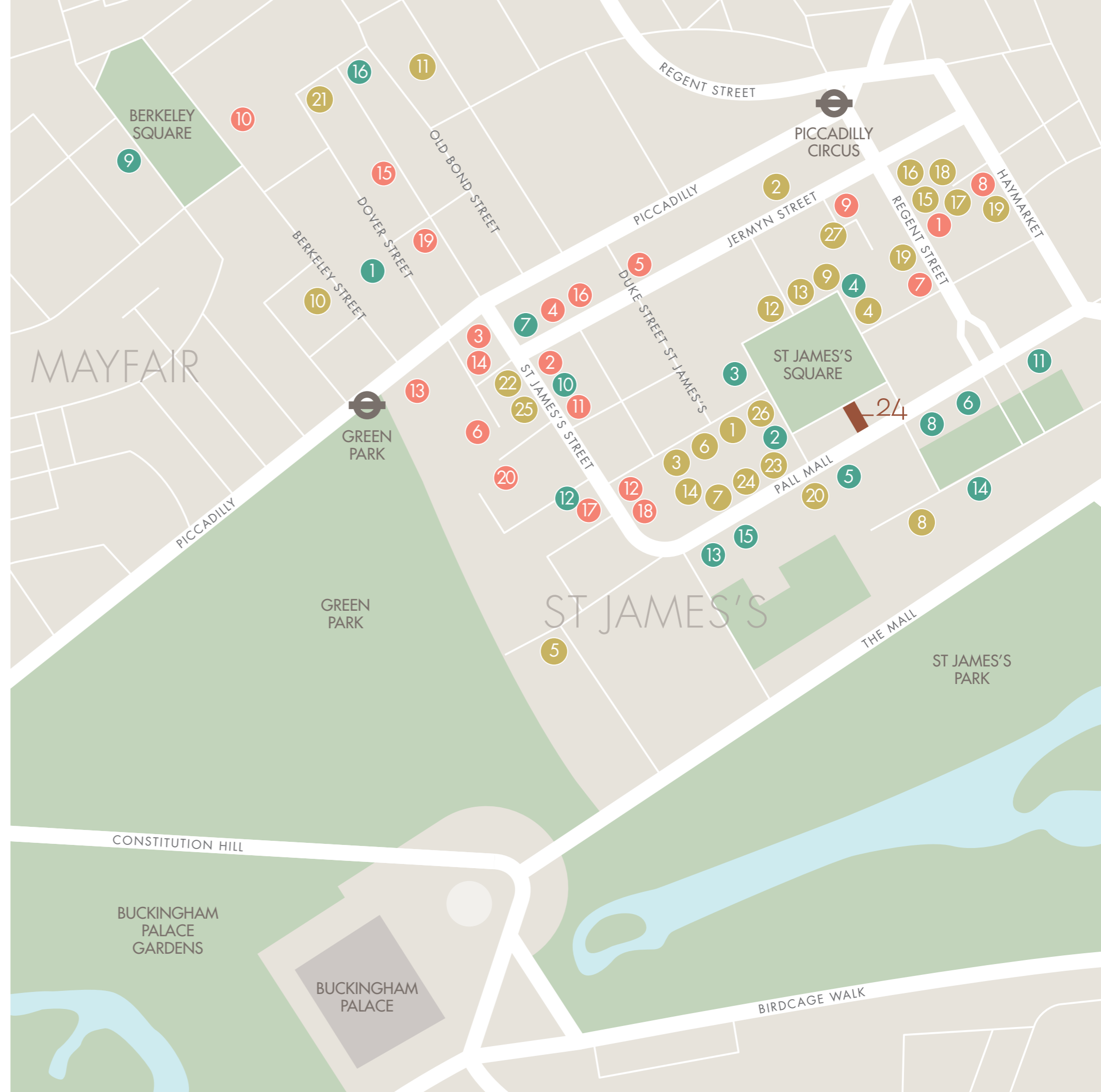
- |                          |                  |
|--------------------------|------------------|
| 1 Aquavit                | 11 Sake no Hana  |
| 2 Café Murano            | 12 Avenue        |
| 3 Caviar House & Prunier | 13 The Ritz      |
| 4 Franco's               | 14 The Wolseley  |
| 5 45                     | 15 Isabel        |
| 6 Le Caprice             | 16 Wiltons       |
| 7 Estiatorio Milos       | 17 Chutney Mary  |
| 8 Ole & Steen            | 18 Boulestin     |
| 9 Rowley's               | 19 Gymkhana      |
| 10 Sexy Fish             | 20 The Game Bird |

### CLUBS

- |                                      |                            |
|--------------------------------------|----------------------------|
| 1 Arts Club                          | 9 Annabel's                |
| 2 The Army & Navy Club               | 10 Boodle's                |
| 3 The East India Club                | 11 IoD                     |
| 4 The In & Out Naval & Military Club | 12 Carlton Club            |
| 5 The Royal Automobile Club          | 13 67 Pall Mall            |
| 6 The Travellers Club                | 14 Turf Club               |
| 7 White's                            | 15 Oxford & Cambridge Club |
| 8 The Reform Club                    | 16 Oswald's                |

### OCCUPIERS

- |                             |                                   |
|-----------------------------|-----------------------------------|
| 1 Antofagasta               | 15 J O Hambro                     |
| 2 Apax Partners             | 16 Carlyle Group                  |
| 3 Balyasny Asset Management | 17 TowerBrook Capital             |
| 4 BP Global                 | 18 Formula One                    |
| 5 Cheyne Capital Management | 19 Socar Trading                  |
| 6 Clayton Dubilier Rice     | 20 Permira                        |
| 7 Crux Asset Management     | 21 Perella Weinberg               |
| 8 Edmond De Rothschild      | 22 Vision Capital                 |
| 9 Rio Tinto                 | 23 Eight Advisory                 |
| 10 Glencore                 | 24 LXM Group                      |
| 11 HSBC                     | 25 Putnam Investments             |
| 12 EnTrust Global           | 26 Rolex                          |
| 13 SG Kleinwort Hambros     | 27 Waverton Investment Management |
| 14 Temasek                  |                                   |



SCHEDULE OF AREAS

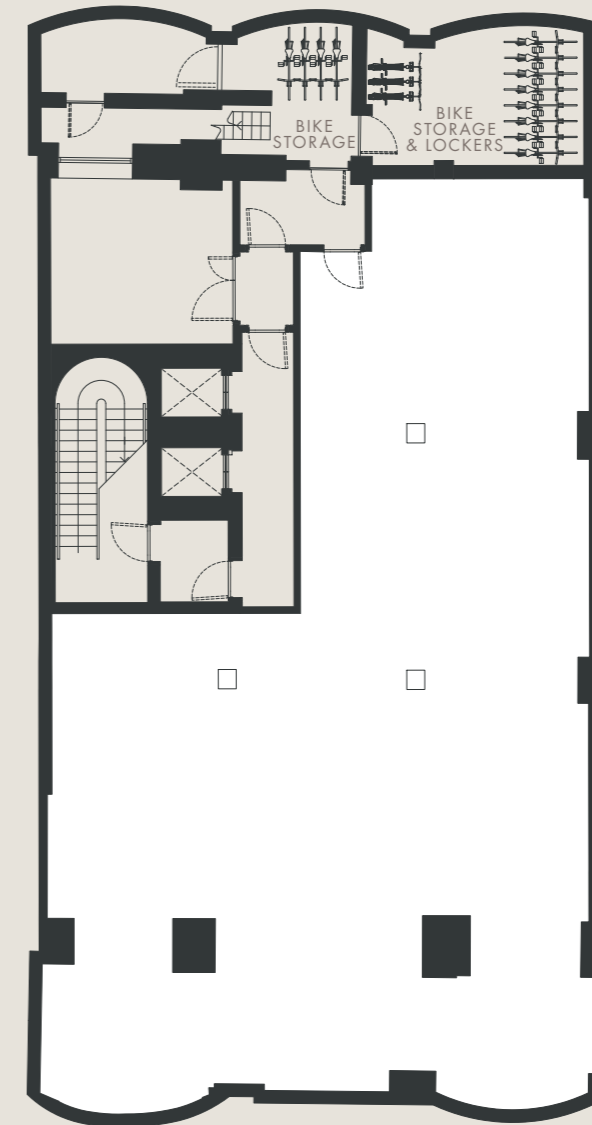
FLOOR	MAIN FLOOR		BALCONY	
	SQ FT	SQ M	SQ FT	SQ M
EIGHTH	598	56	—	—
SEVENTH	1,478	137	59	6
SIXTH	1,738	162	—	—
FIFTH	1,762	164	100	9
FOURTH	2,047	190	—	—
THIRD	2,044	190	27	3
SECOND	LET			
FIRST	2,024	188	—	—
RECEPTION	657	61	—	—
GROUND	1,242	115	—	—
LOWER GROUND	2,091	194	—	—
<b>TOTAL</b>	<b>15,024</b>	<b>1,396</b>	<b>186</b>	<b>17</b>

NET INTERNAL AREAS

FLOOR PLANS

LOWER GROUND  
2,091 SQ FT / 194 SQ M

ST JAMES'S SQUARE



PALL MALL



Plans not to scale. For indicative purposes only.

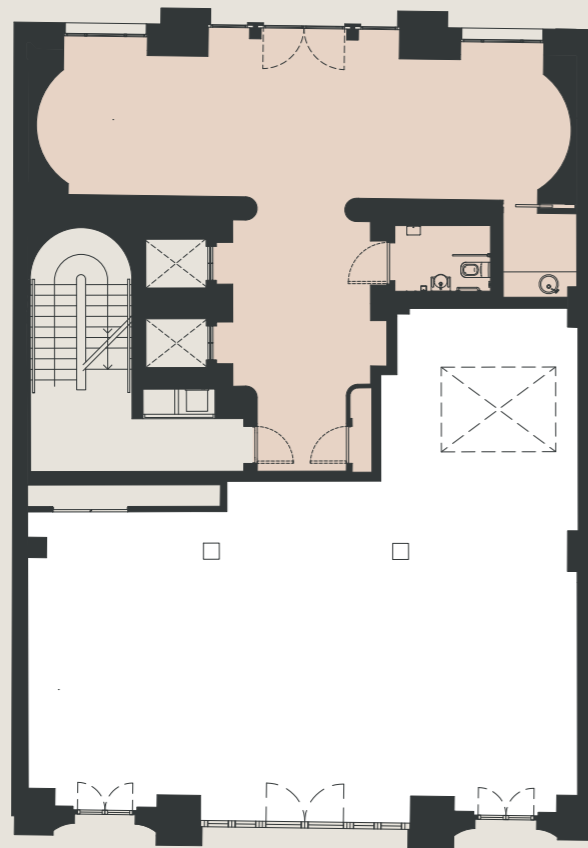
GROUND

1,242 SQ FT / 115 SQ M

RECEPTION

657 SQ FT / 61 SQ M

ST JAMES'S SQUARE



PALL MALL

Reception

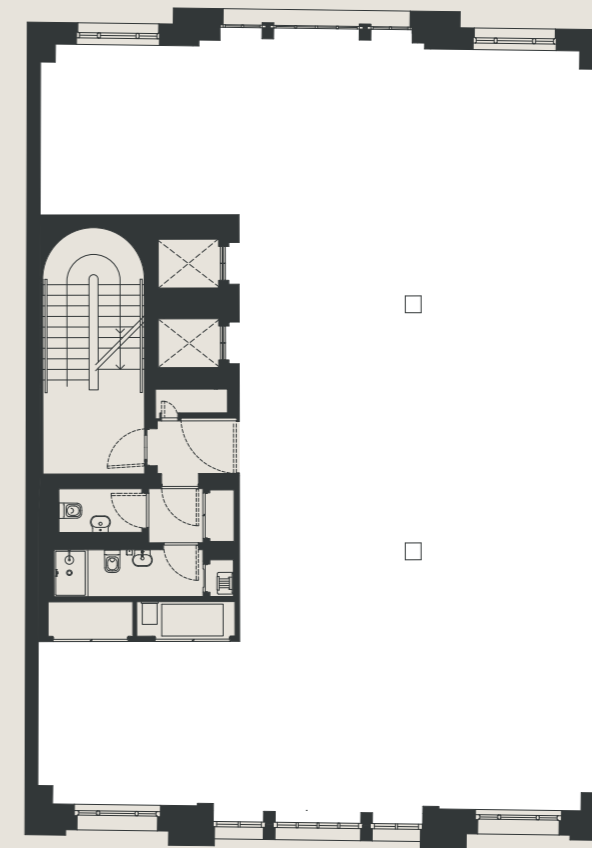


Plans not to scale. For indicative purposes only.

FIRST

2,024 SQ FT / 188 SQ M

ST JAMES'S SQUARE



PALL MALL



Plans not to scale. For indicative purposes only.

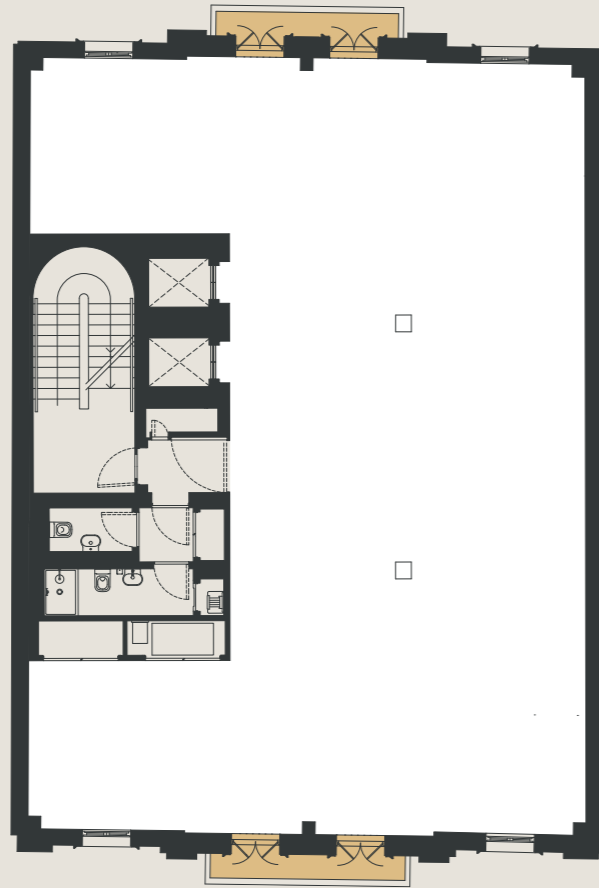


1ST FLOOR

THIRD  
2,044 SQ FT / 190 SQ M

BALCONY  
27 SQ FT / 3 SQ M

ST JAMES'S SQUARE



PALL MALL

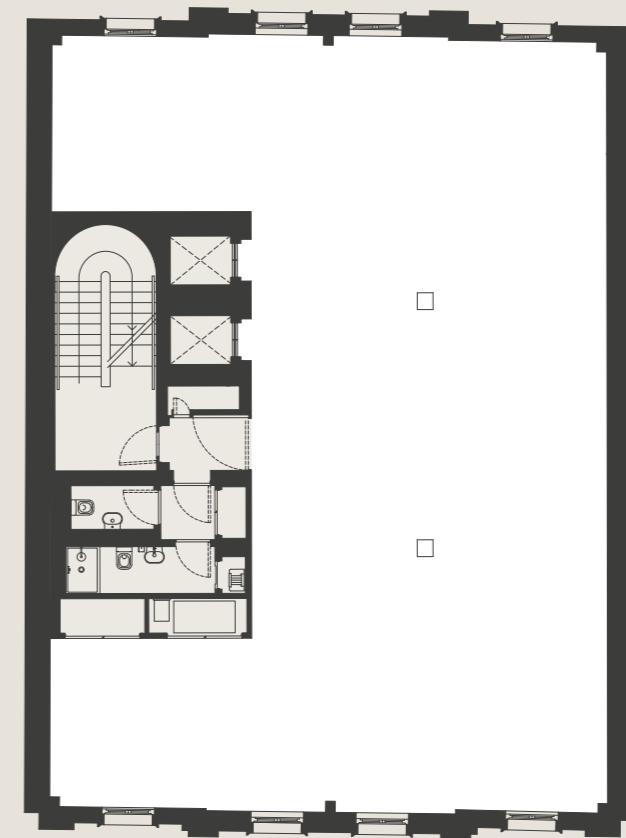
  
Balcony



Plans not to scale. For indicative purposes only.

FOURTH  
2,047 SQ FT / 190 SQ M

ST JAMES'S SQUARE



PALL MALL

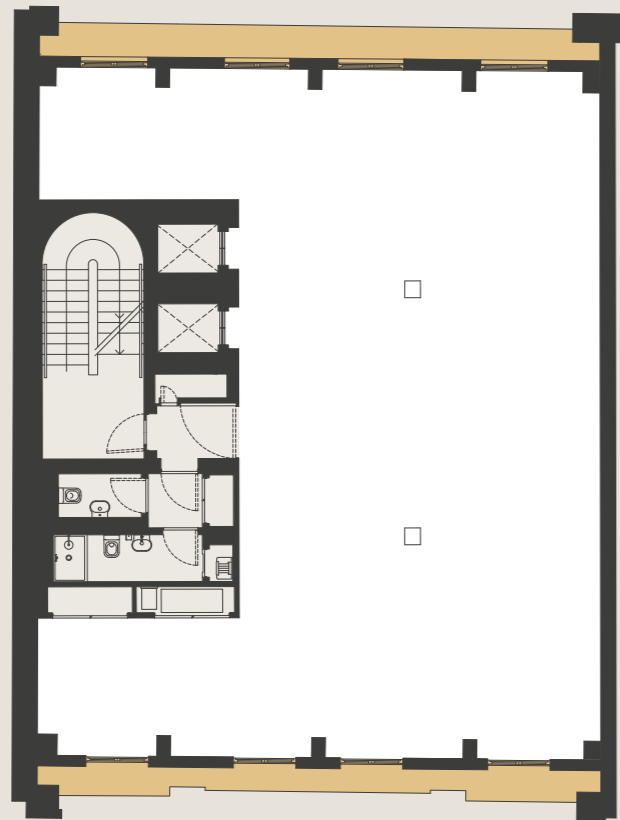


Plans not to scale. For indicative purposes only.

FIFTH  
1,762 SQ FT / 164 SQ M

BALCONY  
100 SQ FT / 9 SQ M

ST JAMES'S SQUARE



PALL MALL

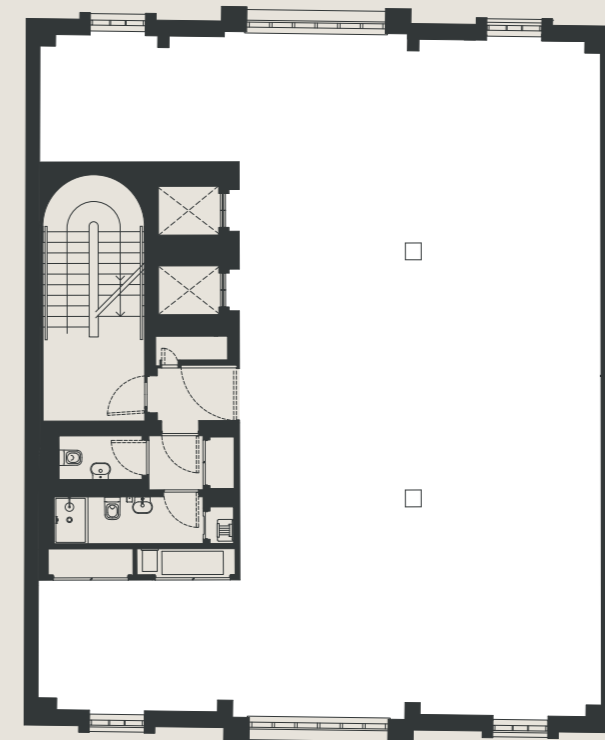
 Balcony



Plans not to scale. For indicative purposes only.

SIXTH  
1,738 SQ FT / 162 SQ M

ST JAMES'S SQUARE



PALL MALL



Plans not to scale. For indicative purposes only.

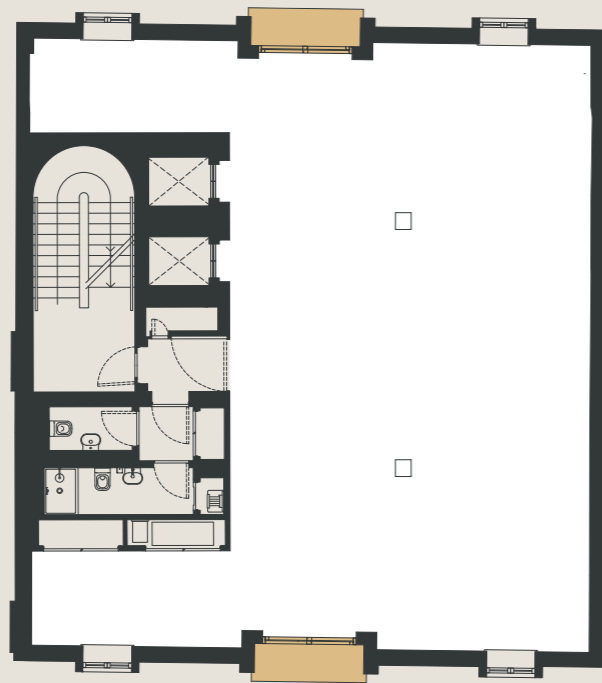




SEVENTH  
1,478 SQ FT / 137 SQ M

BALCONY  
59 SQ FT / 6 SQ M

ST JAMES'S SQUARE



PALL MALL

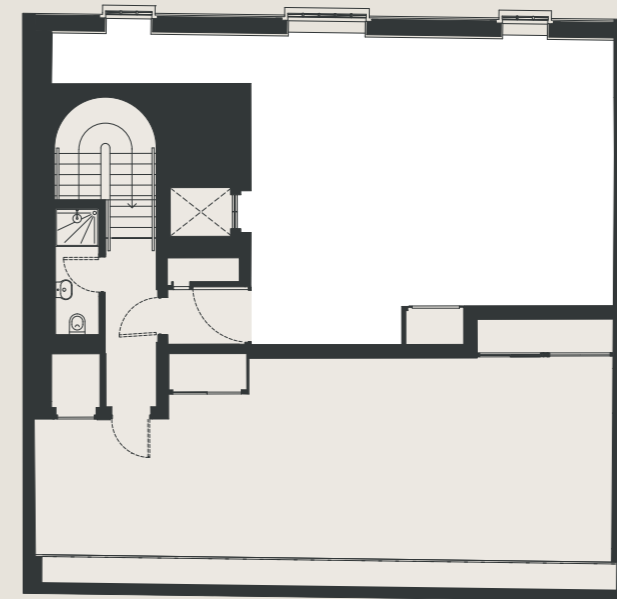
 Balcony



Plans not to scale. For indicative purposes only.

EIGHTH  
598 SQ FT / 56 SQ M

ST JAMES'S SQUARE



PALL MALL



Plans not to scale. For indicative purposes only.

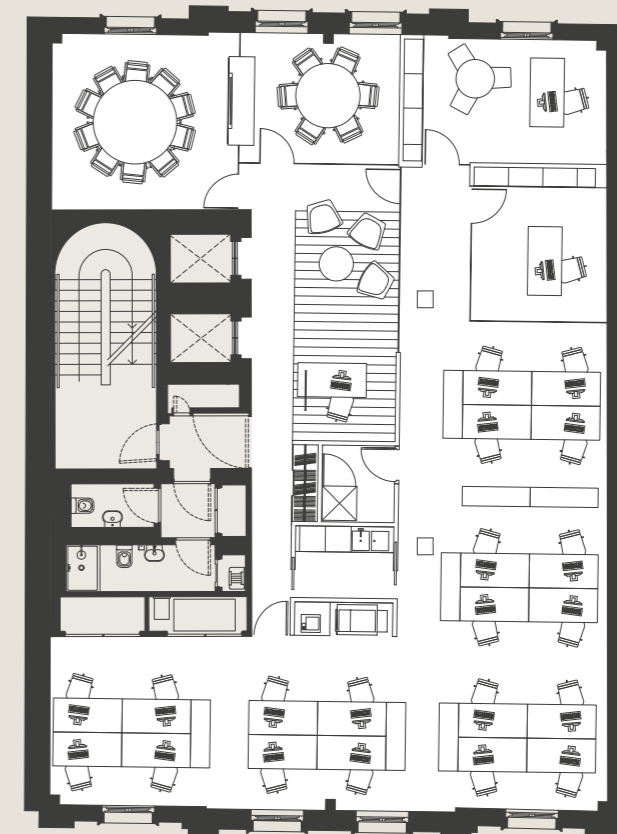


1ST FLOOR INDICATIVE LAYOUT CGI

SPACE PLANNING

TYPICAL FLOOR  
CORPORATE LAYOUT

ST JAMES'S SQUARE



PALL MALL

- 20 Work Stations
- 2 Executive Offices
- 1 Boardroom
- 1 Meeting Room
- Reception Room & Waiting Area
- Comms Room, Teapoint & Copy Area



Plans not to scale. For indicative purposes only.

## SPECIFICATION

### OCCUPANCY

Workspace – 8–13 sq m/person

Core elements (e.g. lifts) – 12 sq m/person

### Lift Provision

Wheelchair accessible 8–person lifts

Lift One: basement to 7th floor

Lift Two: basement to 8th floor

### FLOOR LOADINGS

#### Dead / Superimposed Dead Load:

– Office:

0.85kN/m<sup>2</sup> as per the BCO specification

– Plant Room 8th Floor:

2.0kN/m<sup>2</sup> assumed Bitumen waterproof layer, insulation and 50mm Screed to the top surface

### FLOOR HEIGHTS

#### Raised Floor Zone

Proposed: 210/260mm clear void

#### Services Ceiling Zone

1–8 levels approx 100mm

### STRUCTURE

New slabs at basement, ground, first, fifth, sixth, seventh and eighth floors

Other floors with retained areas of original floors with new internal steel columns

New RC lift / stair core structure from basement to roof level

Load bearing masonry external walls and party walls

### INTERNAL OFFICE FINISHES

#### Walls

Emulsion paint finished plaster

#### Floors

600 x 600mm accessible medium duty metal raised floor with A/C fan tiles

#### Ceilings

Emulsion painted M/F plasterboard system

#### Windows

Refurbished timber double glazed windows and new metal framed double glazed windows

#### Lighting

New Zumtobel office lighting

#### Doors

Oak veneered doors

#### Skirting

Painted hardwood skirtings

### RECEPTION

#### Walls

Burr walnut veneer to lift lobby and embossed leather panels, backlit bronzed aerofoils and metalwork to main reception area

#### Floors

Calacatta large format tiling in engineered walnut border

#### Ceilings

Layered ceilings with linen texture plaster finish and burr walnut panels to lift lobby, with bespoke bronze framed chandeliers

#### Reception Desk and Furniture

Bespoke gold end reception desk and suited waiting area furniture

### TOILETS AND SHOWERS

On each floor there are two unisex superloos, one of which includes a shower

A unisex, fully wheelchair accessible WC is provided adjacent to the ground floor lift lobby

Satin nickel and chrome ironmongery and brassware

#### Ceilings

Painted M/F plasterboard system with cove lighting

#### Walls

Full bodied porcelain tiling with mirrored Alavo modular units to each cubicle with Duravit Darling WCs and flush shower trays

Oak veneered flush doors

#### Floors

Full bodied Domus Burlington porcelain tiling

### CYCLING FACILITIES

12 new secure cycle spaces and lockers, accessed via new basement metal stair

### ILLUMINATION LEVELS

300–500 lux

Task uniformity 0.7

Unified glare rating 19

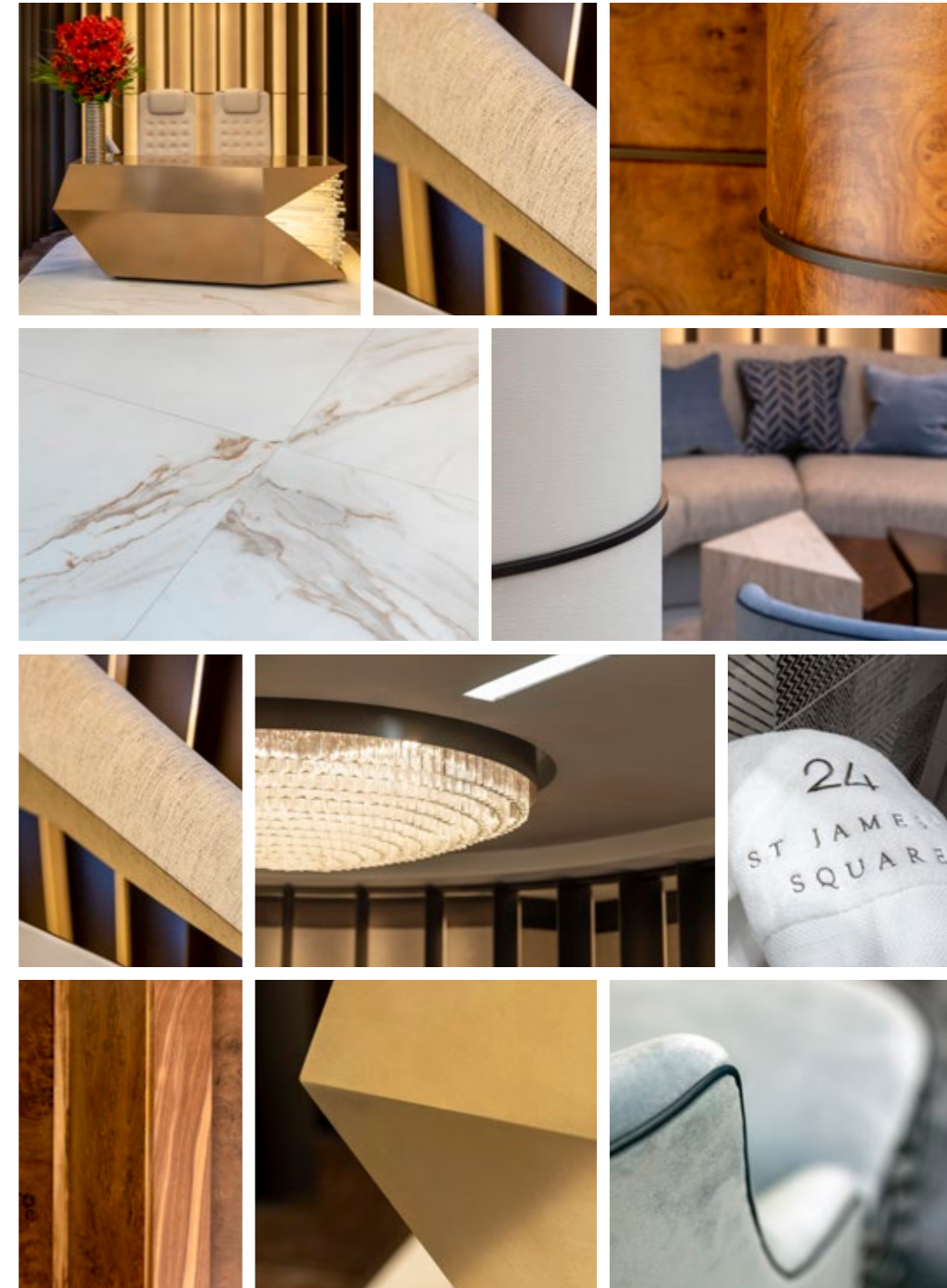
Electric load allowance 10 W/sq m including task lighting

### ENERGY EFFICIENCY MEASURES

BREEAM – Very Good

EPC – Upper floors: 37 (B)

G and LG floors: 34 (B)



## ENQUIRIES



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## AWARDS

Winner of the Best Office Architecture UK Award  
at the 2019 International Property Awards



UKPA 5 Star Winner

## BLDA ARCHITECTS

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Misrepresentation Act 1967

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