



3 Chestnut Place | Gages Road | Belchamp St Paul | Sudbury | CO10 7BT

Specialist marketing for | Barns | Cottages | Period Properties | Executive Homes | Town Houses | Village Homes


TOWN & VILLAGE
PROPERTIES

To find out more or arrange a viewing please contact 01449 722003 or visit www.townandvillageproperties.co.uk

3 Chestnut Place, Gages Road, Belchamp St Paul, Sudbury, CO10 7BT

“A charming two-bedroom Grade II Listed thatched cottage offering a wealth of period features & further benefiting from a fabulous detached studio/home office/guest bedroom with its own bathroom facilities & being offered no chain beyond.”

Description

A delightful Grade II Listed two-bedroom thatched cottage offering a wealth of period charm and character, situated in this idyllic village location on the Suffolk/Essex borders.

The accommodation comprises: kitchen/diner, sitting room, inner-hallway, bathroom, rear lobby and two first floor bedrooms.

The property benefits from exposed timbers, wood boarded flooring, some leaded light windows, large feature brick inglenook fireplace to the kitchen/diner, brick fireplace to the sitting room, night storage heaters and no chain beyond.

Outside to the front is a gravelled driveway providing off-road parking and a side gate opens to the rear garden and detached studio.

The attractive rear garden is enclosed and mainly laid to lawn with mature shrubs and trees. Within the garden is a fabulous studio building with its own bathroom which could be used as a guest bedroom, gym or home office if required. Within the garden is an attractively built detached summerhouse.

About the Area

Belchamp St Paul is a most attractive village located on the Suffolk/Essex border and within easy reach of Sudbury and Clare. The village itself is said to have a lovely community spirit and offers a well-regarded village primary school, church and popular thatched public house 'The Half Moon Inn'.

The accommodation comprises:

Solid oak front door to:

Kitchen/Dining Room Approx 12'11 max x 11'7 (3.94m x 352m)

A charming and welcoming cottage kitchen comprising single drainer stainless steel sink unit with mixer tap over, work surfaces with base cupboards and drawers under, tiled splash backs, fitted shelving, space for cooker, space for fridge, large inglenook brick fireplace with timber bressumer over and inset spot-lights, built-in larder cupboard with cupboard housing meters, quarry tiled flooring, exposed timbers, window to front elevation, wall-lights, door with glazed panel to inner-hallway and door to:

Sitting Room Approx 18'10 x 11'7 (5.75m x 3.52m)

Window to front and rear elevations, elm boarded flooring, feature brick fireplace, exposed timbers, night storage heater and spot-lights.

Inner-Hallway

Stairs to first floor, leaded light window, built-in storage cupboard, quarry tiled flooring, part-glazed door to rear lobby and door to:

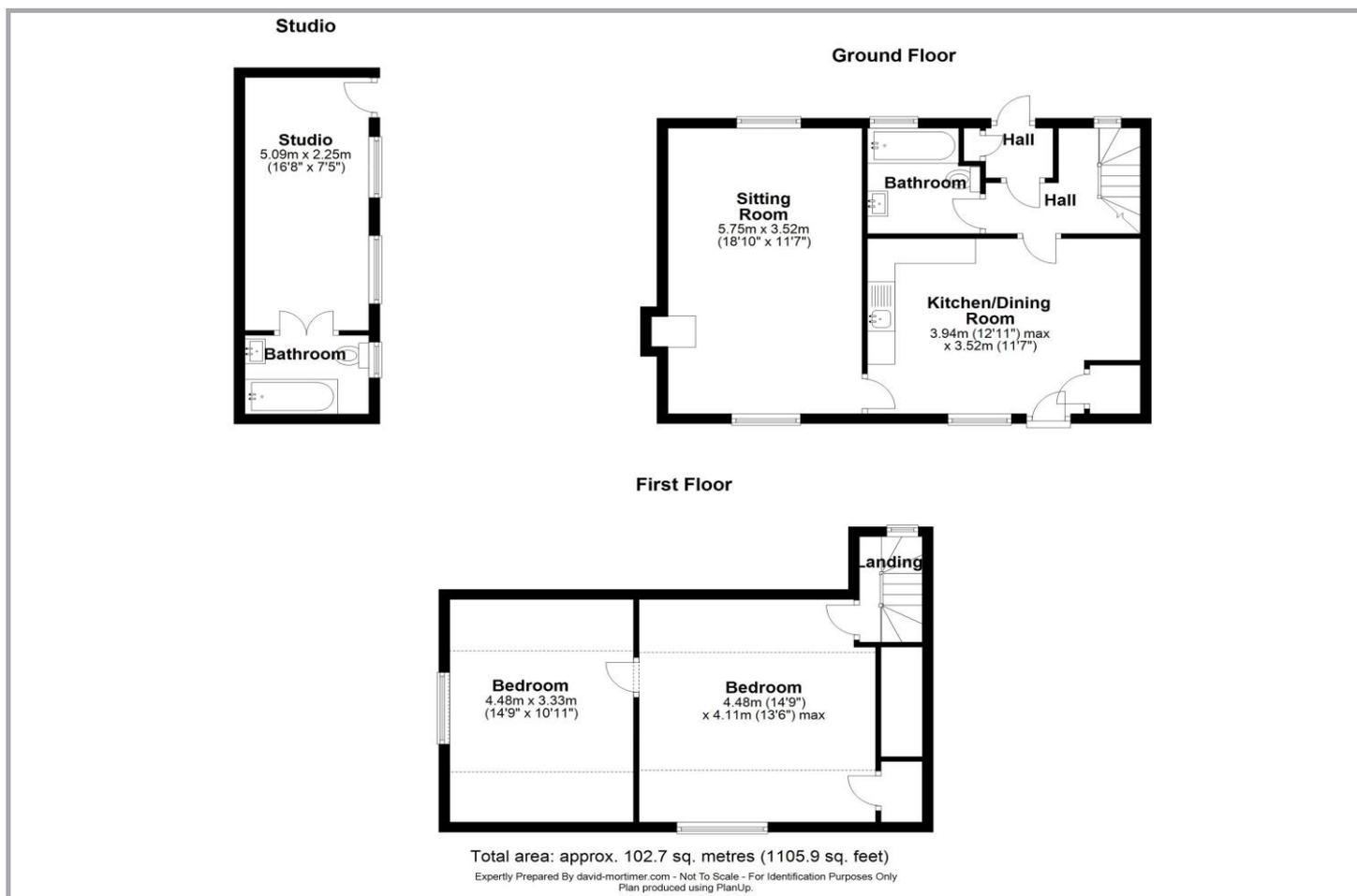
Bathroom

Comprising panel bath with mixer tap and separate hand-held shower attachment, pedestal hand wash basin, low-level flushing w.c with concealed cistern, exposed timbers, window to rear elevation, wall-lights and tiled flooring.

Rear Lobby

Part-glazed door to the rear garden, quarry tiled floor, cupboard housing Megaflow hot water cylinder and exposed timbers.





On the first floor

Stairwell leading to:

Bedroom Approx 14'9 x 13'6 max (4.48m x 4.11m)

Sloping ceiling, window to front elevation, night storage heater, built-in cupboard, wood boarded flooring and door to:

Bedroom Approx 14'9 x 10'11 (4.48m x 3.33m)

Leaded light window to side elevation, exposed timbers, wall-lights and night storage heater.

Outside

To the front of the property is a gravelled driveway providing off-road parking and a pedestrian gate opens to a pathway which leads to the front door. The remainder of the front garden is laid to lawn with mature flower and shrub borders, a pollarded Horse Chestnut tree, a brick and flint dividing wall and side pedestrian gate leading to the rear garden.

The delightful rear garden is mainly laid to lawn with mature trees and shrubs. Within the garden is a circular brick well, attractive summerhouse, fabulous studio building with attached storage shed, an outside tap and outside courtesy lighting.

Studio Building Approx 16'8 x 7'5 (5.09m x 2.25m)

Wood panel walls, built-in shelving, wall-light, night storage heater, two windows to front elevation, access to loft and door to:

Bathroom

Comprising panel bath, pedestal hand wash basin, low-level flushing w.c., window to front elevation with fitted shutters, heated towel ladder, wood panel walls and wall-light incorporating shaver point.

Attached to the studio is a useful storage shed offering power and light.

Summerhouse

Power and light connected and door to storage area.



Disclaimer

Town & Village Properties (and its subsidiaries and their joint Agents where applicable) for themselves and for the vendors or lessors of this property for whom they act, give notice that (I) these particulars are a general outline only for the guidance of prospective purchasers or tenants, and do not constitute the whole or any part of an offer or contract (II) Town & Village Properties cannot guarantee the accuracy of any description, dimensions, references to conditions, necessary permissions for use and occupancy and other details contained herein and prospective purchasers or tenants must not rely on them as statements of fact or representations and must satisfy themselves as to their accuracy, (III) No employee of Town & Village Properties (and its subsidiaries and their joint Agents where applicable) has any authority to make or give any representation or warranty or enter into any contract whatever in relation to the property, (IV) Town & Village Properties (and its subsidiaries and their joint Agents where applicable) will not be liable in negligence or otherwise, for any loss arising from the use of these particulars and Town & Village Properties (and its subsidiaries and their joint Agents where applicable) have not tested any apparatus, equipment, fixtures and fittings or services and so cannot verify that they are in working order or fit for the purpose. A buyer is advised to obtain verification from their Solicitor, (V) Photographs will only show certain parts of the property and assumptions should not be made in respect of those parts of the property that have not been photographed. (Items or contents shown in the photographs are not included as part of the sale unless specified otherwise. It should not be assumed the property will remain as shown in the photograph. Photographs are taken using a wide-angle lens.



Town and Village Properties
Grove House, 87 High Street
Needham Market
Suffolk
IP6 8DQ

Email: info@townandvillageproperties.co.uk

Needham Market
and surrounding villages
01449 722003

Ipswich
and surrounding villages
01473 214420

Stowmarket
and surrounding villages
01449 722003

Debenham
and surrounding villages
01728 469308

London
Showroom
020 7409 8403