



3 Eathwaite Green

PE4 6SZ

£2,750 Per month



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Nestled away in a highly sought-after area of Peterborough, this spectacular estate provides great access to local amenities and the city itself, ensuring convenience without compromise on tranquillity. The property, which retains many of its original features, is a testament to craftsmanship and bespoke design, presenting a unique blend of the traditional and contemporary.

Upon entering, you are greeted by a spacious entrance hall that leads to a large lounge, distinguished by an open fireplace that adds a touch of warmth and character. Adjacent to the lounge, a study offers a quiet space for work or relaxation. The dining room promises an elegant setting for meals, while the kitchen, complete with a utility room, combines functionality with style. Additionally, a downstairs WC adds convenience.

The accommodation comprises four double bedrooms, each offering ample space and comfort. The master bedroom benefits from an en-suite, providing a private retreat for the occupants. A family bathroom serves the additional bedrooms, ensuring practicality and ease for family living or guests.

The property is set within a private gated area, enhancing both security and privacy. A double garage and a huge driveway offer plentiful parking for multiple vehicles. The garden, expansive and well-maintained, features a terrace area ideal for alfresco dining and outdoor entertainment, set against the backdrop of this magnificent estate.

This residence is a sanctuary of luxury and privacy, making it an exceptional choice for those seeking the best of Peterborough living.





Floor plan  
Entrance Hall:

Cloak Room:

Lounge:  
20'8" x 16'8"

Study:  
10'4" x 7'7"

Dining Room:  
13'1" x 8'8"

Kitchen:  
13'5" x 15'2"

Utility Room

Landing:

Master Bedroom:  
18'6" x 12'7"

En-suite:

Bedroom Two:  
15'8" x 12'5"

Bedroom Three:  
13'0" x 8'0"

Bedroom Four:  
12'1" x 8'0"

Family Bathroom:

Double Garage:  
19'2" x 18'8")





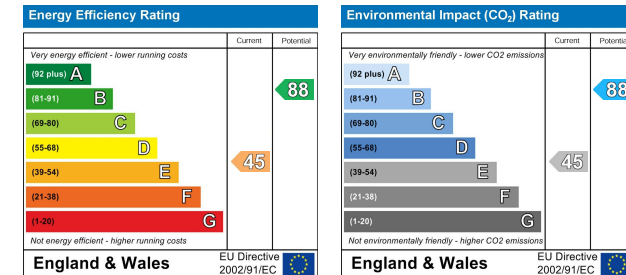
## Floor Plan



## Area Map



## Energy Efficiency Graph



## Viewing

Please contact our Lettings Office on 01733 973673 if you wish to arrange a viewing appointment for this property or require further information.

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