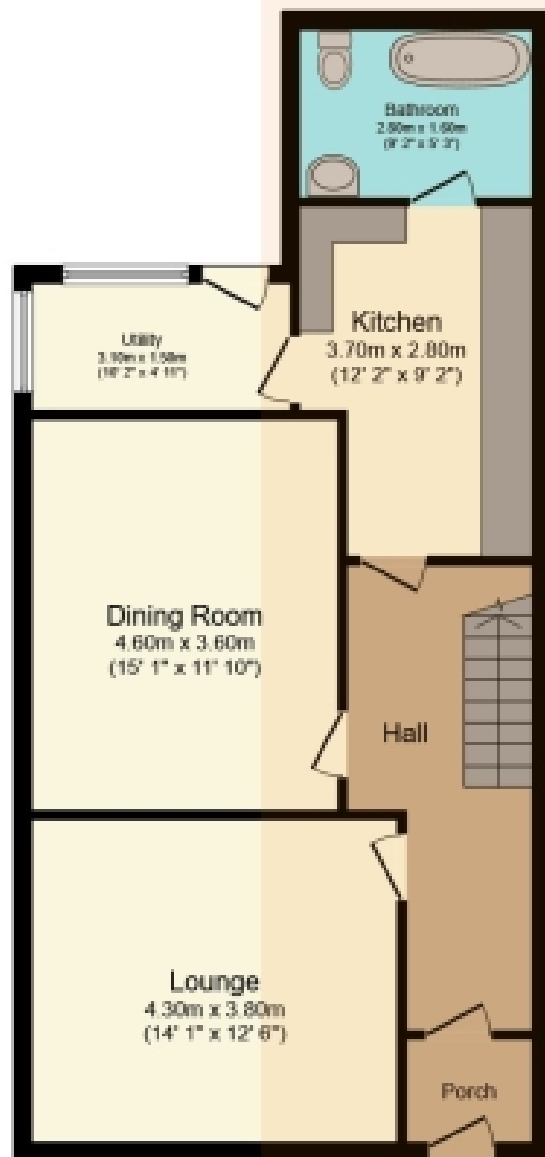




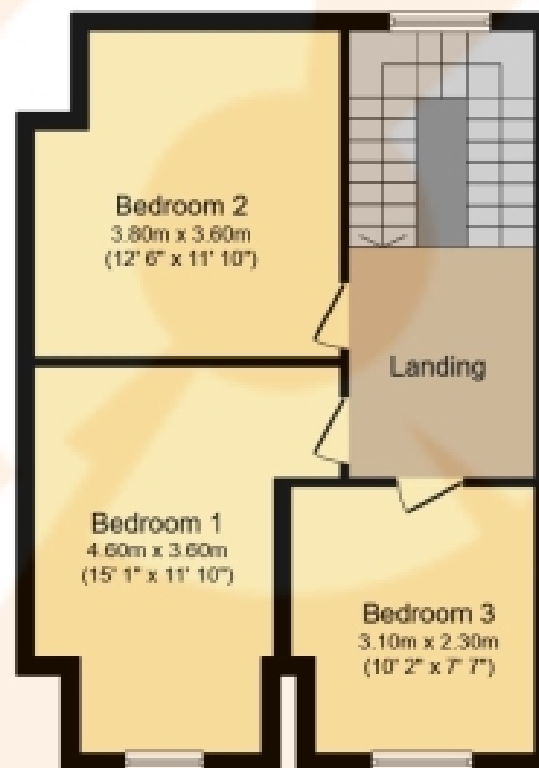
54 Kirkland Road, Glengarnock

Offers Over £219,995

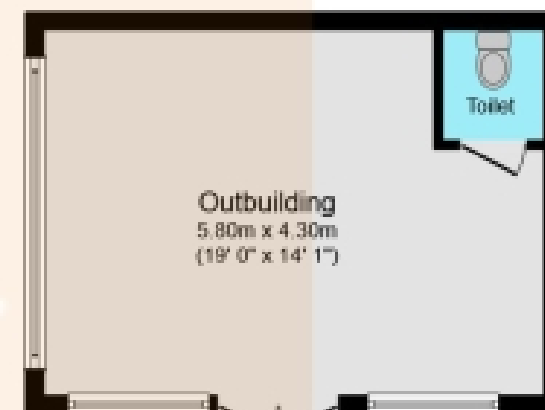




Ground Floor



First Floor



Outbuilding

Total floor area 140.9 sq.m. (1,517 sq.ft.) approx

This plan is for illustration purposes only and may not be representative of the property. Plan not to scale. Powered by PropertyBox

THE PROPERTY

Welcome to No. 54 Kirkland Road. Nestled within the sought-after village of Glengarnock, No. 54 is a delightful semi-detached home that effortlessly combines the charm of timeless, traditional features with stunning modern upgrades. Set on a substantial plot of land and boasting extensive garden grounds, the likes of which are rarely found in the local market, this property is a true gem and would make for an idyllic family home.

As you step through the inviting entrance vestibule, we are welcomed into the bright and spacious hallway which features tasteful neutral decor and elegant high ceilings, exuding a sense of grandeur that flows throughout the entire home. The lounge, bathed in natural light from the large, double-glazed window, is a spacious sanctuary. Here, you'll find focal points such as ornate cornicing, classic ceiling rosettes, and a charming multi-fuel stove, creating an inviting ambiance. Adjacent to the lounge is a versatile second public room which boasts stylish neutral décor and spacious dimensions, offering ample room for a range of furniture configurations. The space is currently utilised as a dining room but could be suitable for a variety of needs.

The well-appointed kitchen features light wood-effect wall and base units, complemented by contrasting work surfaces. A Velux window adds a lovely stream of natural light, and there are a host of quality free-standing and integrated appliances which will all be included within the sale. Situated off the kitchen, is the convenient utility room. Boasting glazed surrounds the space offers ample additional storage, making it ideal for laundry facilities, and offers direct access to the rear garden.

Completing the downstairs accommodation is the pristine family bathroom, featuring sleek floor and wall tiles, a wall-mounted washbasin, a w.c., and a bath with an overhead shower. A carpeted stairway leads to the upper level, where a stunning stained-glass window graces the landing. Here, you'll discover three generously proportioned bedrooms, providing comfortable and private living spaces for the whole family.

Externally, the property offers a spacious multi-car driveway at the front, ensuring ample off-street parking for both residents and visitors. However, the true highlight of this property lies in its rear grounds. The expansive gardens are a genuine treasure, a rarity in the local area. These sprawling outdoor spaces feature large areas of well-maintained lawn bordered by lush shrubbery and trees, not only creating a picturesque setting but also enhancing privacy. A fabulous outdoor summer house is a remarkable addition to the outdoor space. This sought-after installation houses a convenient W.C., and can be flexibly utilised as an outdoor bar, office, gym, or for any purpose that suits your lifestyle. Surrounding the summer house is the fabulous decked area with pergola, creating an ideal spot for a hot tub or entertaining friends in the sunshine. This outdoor oasis is a true sanctuary, offering a perfect balance of relaxation and recreation.

Glengarnock has a host of great local closeby, including a health centre and well-known supermarket. The property is also within the catchment area for the newly built Garnock Community Campus which combines nursery, primary and secondary education alongside a leisure suite and swimming pool. For detailed information on schooling, please use The Property Boom's school catchment and performance tool on our website. Park and ride facilities at Glengarnock train station are less than a 5-minute drive away and a regular bus service will have you in Glasgow City Centre in under 35 minutes. The West Coast with beautiful sandy beaches is only 20 minutes' drive or a short train journey away.

Viewing by appointment - please contact The Property Boom to arrange a viewing or for any further information and a copy of the Home Report. Any areas, measurements or distances quoted are approximate and floor Plans are only for illustration purposes and are not to scale. Thank you.

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